



CITY OF  
**WEST ST. PAUL**  
**PLANNING COMMISSION MEETING**  
**MUNICIPAL CENTER COUNCIL CHAMBERS**  
**1616 HUMBOLDT AVENUE, WEST ST. PAUL, MN 55118**  
**TUESDAY, JULY 21, 2020**  
**6:30 P.M.**

**COMMITTEE OF ADJUSTMENTS / PLANNING COMMISSION MEETINGS**

Meetings are held in person in the Council Chambers and are open to the public with social distancing restrictions. Meetings will continue to be broadcast and streamed online for viewers to watch from the safety of their homes.

**SEATING:** A limited number of attendees will be allowed in the Council Chambers to view live meetings. Seats are first come-first serve. Due to the limited seating, overflow space will be available in the City Hall lobby and Lobby Conference Room with screens playing the meeting live.

**PARTICIPATION:** Due to the limited seating in the Council Chambers, those wishing to speak in person during public input items must sign up prior to the start of the meeting and will be called up to the podium one at a time. People wishing to speak in person may email the City Planner at [msonnek@wspmn.gov](mailto:msonnek@wspmn.gov) by 4:30 p.m. the day of the meeting (please include name, address and subject in email). In addition, sign-up sheets for each public input item will be available near the entrance of the Council Chambers at 4:30 p.m. the day of each meeting. Names will be called to approach the podium to address the Council. Those watching from overflow areas can enter the Chambers to speak when their name is called and then proceed back to the overflow area to continue viewing.

Viewers may also choose to call in via telephone to speak during public input items. A number will appear on screen during live broadcasts and streams when lines open for call-in speakers.

1. PLANNING COMMISSION

2. Roll Call

3. Adopt Minutes

3.A. PC Minutes - October 15, 2019

Documents:

[10-15-19 PC MINUTES.PDF](#)

3.B. PC Minutes - January 21, 2020

Documents:

[01.21.2020 - PC MINUTES.PDF](#)

3.C. PC Minutes - May 19th, 2020

Documents:

[05.19.2020 - PC MINUTES.PDF](#)

4. Public Hearings

4.A. PC Case #20-06 - Preliminary/Final Plat Review For 895 Robert Street - Dakota County  
CDA

Documents:

[PC REPORT - 07.21.2020.PDF](#)  
[PC ATTACHMENTS - 07.21.2020.PDF](#)

4.B. PC Case #20-07 - Conditional Use Permit, Site Plan, Rezoning, Preliminary, And Final  
Plat Review For The Construction Of Two Apartment Buildings At 1201 Robert St. And  
100 Signal Hills Ave.

Documents:

[PC REPORT 07.21.2020.PDF](#)  
[PC ATTACHMENTS - 07.21.2020.PDF](#)  
[AFFORDABLE \(WEST\) BUILDING - PLAN SET - REDUCED SIZE.PDF](#)  
[SENIOR \(EAST\) BUILDING - PLAN SET - REDUCED FILE SIZE.PDF](#)  
[PRELIMINARY AND FINAL PLAT.PDF](#)

5. New Business

6. Old Business

7. Other

8. Adjourn

*If you need an accommodation to participate in the meeting, please contact the ADA Coordinator at  
651-552-4108 or email [ADA@wspmn.gov](mailto:ADA@wspmn.gov) at least 5 business days prior to the meeting  
[www.wspmn.gov](http://www.wspmn.gov) EOE/AA*

## WEST ST. PAUL PLANNING COMMISSION

The regular meeting of the West St. Paul Planning Commission was called to order by Chair Morgan Kavanaugh, on Tuesday, October 15, 2019 at 7:00 pm in the Municipal Center Council Chambers, 1616 Humboldt Avenue, West St. Paul, Minnesota 55118.

**ROLL CALL:** Dan McPhillips, Lisa Stevens Maria Franzmeier, Morgan Kavanaugh Samantha Green

**Also Present:** Melissa Sonnek, Community Development; Ben Boike, City Planner; Kori Land, Attorney; John Justen, Councilman

**Adopt Minutes:** Minutes from the September 17, 2019 meeting were approved.

### PUBLIC HEARINGS

#### **PC Case 19-12 –Site Plan review for the expansion of the existing building at 1200 Oakdale Ave (St. Croix Lutheran Academy) – Dr. Todd Russ**

Community Development Coordinator Sonnek reviewed the site plan analysis for an addition to the St. Croix Lutheran Academy building. The request is to construct a 12,600 square foot addition to the western side of the building. The addition will not alter the number of students; it would create more space for its fine arts program and create a more secure office within the entry vestibule area. Additionally the construction would include a remodel to accommodate more traffic flow. Nearby properties are zoned single family use with the exception of St. George’s Church and Thompson Lake and Thompson County Park. Setbacks are compliant with City code requirements. There are no modifications to the parking lot except to relocate the handicapped parking stalls. The Environmental Committee reviewed the landscaping plan at their October 2, 2019 meeting; they recommended approval of the plan with the recommendation of using pollinator-friendly plantings and a more diverse tree variety. Construction materials comply with City code. The plan did not detail any signage. The plan was reviewed by WSB, an outside engineering company. They recommended compliance with Lower Mississippi River Watershed Management Organization and regulatory agencies. The City Engineer has reviewed the plan. He recommended that the applicant build an 8-foot wide trail to be included, as detailed in the Bike/Ped Plan. This area in West St. Paul is a “big gap” in the Bike/Ped Plan. Sonnek noted that the applicant could pay/build/construct this part of the trail and that Dakota County has approved a feasibility study to be done for the Thompson/Oakdale part of the trail. South Metro Fire has also reviewed the plan. The Fire Department is requiring that the applicant adhere to the October 9, 2019 memo detailing the condition of approval.

Commissioner McPhillips asked Sonnek if it was common for the City to ask for the applicant to pay for a trail. Sonnek replied that it was a good question and referred to the new Hy-Vee building. Hy-Vee agreed to pay for the trail. She confirmed that the request was fairly common. Chair Kavanaugh mentioned 252 Marie as another example. Franzmeier asked about the location of the trail. Sonnek showed Franzmeier where it would be located; it was not part of the original submitted site plan.

The applicant, Todd Russ, came forward for questions. He is the president of St. Croix Lutheran Academy. He had nothing to add to the presentation of the site plan; it had been well laid out. He said that the plan was important because of the added security to the building and to emphasize to the community the importance of the fine arts program. McPhillips asked Russ who was paying for the addition, saying the other school construction was paid by tax payer levies. Russ said the costs would be covered by the school itself and donors. Langer Construction would be handing the construction of the addition. Russ said that they were happy to pay for the trail; they would like to be good neighbors and the trail would benefit the community and the Academy’s students.

There were no further comments or questions generated from the Public Hearing or commission members and City staff.

**A motion was made to approve the plan with the recommendations made by staff. The motion carried. All Ayes.**

The recommendation will come before Council on October 18, 2019.

**PC Case 19-10 - Rezoning, Conditional Use Permit, Site Plan Review, and Preliminary/Final Plat to Allow A 153-Unit Apartment Complex at 240 Thompson Ave E - Paul Tucci, Oppidan**

City Planner Ben Boike reviewed the Planning Commission Report regarding multiple applications from the Oppidan for the redevelopment of 240 Thompson Avenue East, the former Thompson Oaks Golf Course.

The applications included: Rezoning in from R1 Single family housing to a Planned Residential Development (PRD) with B6 Mixed Use underlying zoning, a Conditional Use Permit to allow R4 Residential Dwelling in the B6 district, a site plan review for the redevelopment and a preliminary plat review.

The property currently is occupied by vacant space with single family use to the properties to the north, east and south. The property to the west is zoned single family use/commercial with planned development. Boike showed a map of the area within the 2040 Comp Plan. The 2040 Plan shows that the area was designated for mixed use and explained that, when zoning and the comp plan differ, zoning complies with the comp plan. The Comp Plan sets precedence; the Land Use category is broader and allows mixed use both horizontally and vertically. It allows 25-40 units per acre. The proposed development is 28.1 units per acre. The proposed rezoning also allows more flexibility with setbacks. Regarding the conditional use permit, the City is considering a Zoning Ordinance amendment to allow an R4 Residential Building in the B6 District, specifically for the 4-story, 153 unit building. The current B6 District only allows this if there is a commercial element, i.e. a coffee shop or an office in the first floor of the building. Boike said Council has adopted the 2040 West St. Paul [Met Council] Plan as well as the Renaissance Plan which designates the former Golf Course for mixed use development, increased density and transit-oriented development. The applicant did research multi-family demand for West St. Paul; there is demand for affordable and market rate housing in the area. A four-story [apartment] building construction is consistent with the metro area. 252 Marie Ave is a comparable building and it is fully occupied. There are a lot of amenities in the building. The proposed building will be close to Hy-Vee, the River to River Trail, the Thompson Oaks Reclamation Project Water Space, Robert Street and Route 68 and Route 52. The applicant has made revisions to adjacent properties to the north to mitigate resident concerns. It will feature a mix of studio, one bedroom, 2 bedroom and 3 bedroom. It is amenity based and has a media room, storage, mail rooms and management office. It has proximity to a large green space. Regarding the setbacks, normally buildings would be located as close to the street as possible. The developer has pushed the building as far back south as he could to mitigate concerns of the neighbors to the north. This would normally require a variance. The parking setback would also require a variance because of the push to the south. Dakota County hired a company to analyze access to the building; they see no benefit to realigning site access to Carrie Street based on the traffic counts. There were no sightline issues. The increase to traffic will about 25 percent; the County is considering changing Thompson from two lanes into a three-lane roadway with a center turn lane. The applicant is putting in 1.67 parking stalls per unit; the majority of the units are studio or one bedroom which would decrease the number of parking stalls actually used. Staff is comfortable with this ratio. Screening to the north and west is a concern; initially the plans called for removal of mature trees. Hearing concerns from the neighboring residents, grading was changed to the site eliminating the need to remove the trees. The applicant is also planting more trees to the north of the parking lot. A berm will be built along the parking lot to shield residents from car lights, and staff is recommending as a condition of approval that the pet park to be moved the southeast part of the parking lot for additional screening. As to landscaping, the

plan call for 182 caliper inches of new trees; it exceeds the requirement. Staff is recommending as a condition of approval that the applicant revise the grading plan to divert water from entering the property to the north. The Environmental Committee reviewed the plan and was happy that the tree line was maintained; they would like the applicant to also use dark sky compliant lighting and green roof construction, to work with the residents to maintain the fence to the north and to use pollinator-friendly/non neonicotinoid plantings. The applicant is working with the County to build trails that will connect with the River to River Trail. Staff recommends, as a condition of approval, a sidewalk connect the front of the building to Thompson Avenue. Staff is requiring as a condition of approval that lighting be a zero foot candles at the property line. (The lighting plan must be revised.) The city requires that the property be platted; the property is not currently platted.

The City has received correspondence from neighboring properties regarding the project; the letters spoke of their overall opposition to the project. The letters also included suggestions for the plan, should it be approved; shifting access east, relocation of parking, a berm, relocating the pet park, maintaining the tree line and shifting the building south to limit views. The City received 54 letters opposing the site plan; Boike showed a map of where the opposing residents reside.

In review, Boike said that the Comp Plan designates the property as mixed use (which includes multi-family housing) with up to 40 units per acre. The proposed plan is 28.1 units per acre. It is important to note that the applicant is entitled to develop the property as multi-family. The request to rezone the area brings the property into compliance with the Comp Plan. The plan is contingent upon Council approval of the zoning code amendment. Staff believes that the plan is a good fit for the property. The applicant has responded to many of the residents' concerns. Staff recommends the rezoning application from R1 to PRD. Staff recommends the Conditional Use Permit subject to the two listed conditions. Staff recommends the site plan subject to the six listed conditions. Finally staff is recommending the approval of the preliminary and final plat subject to the four listed conditions.

Commission members asked Boike questions. Commissioner Green asked if there was parking allowed on Thompson and what snow emergency rules applied. Boike said that there is parking on Thompson but does not know what would happen when the snow emergency is in effect. Commissioner Franzmeier asked about the increased density and the timing of the future roundabout; Boike assumes that the roundabout is part of the 5 year CIP. Boike answered that the landscaping on the south side of the building was "left open intentionally" because the grading had to be figured out; the County will include plantings that will be consistent with their trail system. Franzmeier is not comfortable with the parking stall ratio especially because ten stalls have been set aside for snow piling. If the stalls are removed, the ratio is decreased. She does not think parking on Thompson is safe. Boike clarified that the stalls used for snow removal were not counted in the parking ratio; the number of parking stalls would not be decreased. Franzmeier asked about the location of the building and if it were the only area that this building could built. The far west unit is located very far away from parking; it would be very hard to carry groceries to the unit. Boike explained that the building is built in the "T" shape in order for the nearby residents to the north to be shielded from the structure; the building could not be shifted to the east because of the instability of the land. It would be very expensive to correct the soils. McPhillips talked about the need for the roundabout; Boike said that it is planned for the future; and yes, "[construction] will not be fun," for a period of time. McPhillips asked about the sidewalk connection. Boike said currently there are no bike/ped facilities on Thompson. There is an approval for a Feasibility Study for Thompson Avenue, much like the one done for Marie and Oakdale. The study will be performed in early 2020. McPhillips asked about the depth of the pond and the need for the fence. Boike said that would be reviewed through the building permitting. Green asked about Thompson being a County road; would it be up to the County to prohibit left turns or add signs for "driveway ahead." Boike said yes, this came up in the meeting today; the County (with a right of way permit) required a left lane turn in on Thompson. A left turn would be needed as well for this project. A right turn-in is possible if the

road was expanded and had curb cuts. Commissioner Stevens asked when the City would rezone areas to match the Comp Plan. Boike said the City just adopted the Comp Plan; the City does not do whole sale rezoning right now. It might be a good idea for the group to look at doing this. McPhillips asked when the Comp Plan was adopted. Boike said that the plan was adopted after a nine-month long review process that included the Met Council and the Planning Commission. The plan was adopted in September of this year. Franzmeier asked about the platting of this site plan. Based on the layout of the property, Boike does not think it is likely that there will be a desire for commercial use for the property. The Town Center area (which includes the golf course) was targeted by the Met Council for development because there is not a lot of "green space to work with." This mixed use/multi-family development was determined before Oppidan "came to the door." Kavanaugh asked about the urban center. Boike answered that the Met Council has defined West St. Paul as a fully developed city; the Met Council placed growth expectations in terms of density going forward. West St. Paul's goal was 20 units per acre in the areas identified (Robert Street and the golf course); the City will arrive at the goal of 2,000 more units that Met Council suggested by 2040. Green asked Boike to explain what Met Council is. Boike responded the Met Council is the regional planning authority for 11 counties up to St. Cloud. Essentially, they are the regional planning authority for the metro area. They require each city to compose a comprehensive plan to meet their goals. They have plans for transit, parks and recreation and storm water. They require the city to compose a plan every 10 years. If the city does not meet goals, the city is shut off from grants and other assistance. All metro cities are expected to meet their goals, one of which is growth projections and to how to accommodate them. Stevens asked then if this would mean that this building would not really be a mixed use building. Boike said that commercial element would be the Hy-Vee supermarket.

The applicant, Paul Tucci of Oppidan, came forward to speak. He talked about the parking for the apartment building. Originally, Oppidan presented a plan for twin home and multi-level housing with tuck under garages and provided the estimates for the soil correction. They looked at many options; retooled the plan and came up with the T structure that situated further away from the nearby residents. The parking stalls and the pet park were also moved. He said for this type of setting 1.5 parking stalls per unit is usually enough for this type of building; most of the units are studio or one bedroom. Oppidan would also be able to pave more parking stalls on the east side of the lot. Tucci would not go below the 1.54 ratio. Grades were changed which allowed them to save the stand of trees on the western property line. It makes a challenge to plant efficiently in the future; they will work with the County on this. Oppidan wants to upgrade the landscaping on this project; He said it is not a grocery store or a restaurant, where you want to get in and get out; this is a place to live and you want to be proud of this. [Oppidan] exceeds the requirements and they want to make it site [even more] inviting. They have done an independent market research; the demand is for high amenities and high finishes; the study does show a demand.

Sixty percent of the units will have balconies. There will be two community rooms and a pergola patio. It will face the south and not the residents to the north. Tucci showed an examples of the lobby, community room, media room and workout room and a one bedroom unit. He understands the concerns about the location of the project. However, the benefit is that the property is presently shutdown and the building will generate more tax revenue for the City. Oppidan is working with the City and the County for grants to water reclamation and the River to River Trail. The project is bring in new housing stock; the market study shows it is needed; it allows more people to move in and to allow empty nesters people to downsize .

McPhillips asked about the exterior, and face brick. Tucci said that it is a thin brick, (a veneer.) McPhillips also asked about the metal paneling and Hardie Board. McPhillips commented that this building is a gateway to the City and Tucci, "could do better." He would like to see something like the Reserve Building in Mendota Heights, which is a comparable. He hoped that Tucci would take that into consideration if the site plan is approved. Kavanaugh asked what the rental fees would be. Tucci said that one bedrooms would run \$1,200-1,400 per

month roughly and that is market rate. The same unit in Mendota would be 10 -12 percent higher. McPhillips asked if it were because of the brick. Tucci said no, the market there would drive it higher. McPhillips said that because this is a premier property, the residents would like to get the most out of their buck or Tucci's buck. He wants a good-looking building and fifty percent Hardie. He commented that the rooflines could be jumped up a bit." Franzmeier does not see this building in West St. Paul, maybe in the North Loop or in Uptown. She thinks it will look dated in 5 -7 years. The residents would like a building that have charm and character. She is concerned with the burnt orange color on the top. She would like to see something more classic. The building does not look bad, but it looks trendy. Tucci will take the comments and take it back to the architect. Stevens agreed with Franzmeier and said she would like the building to look timeless. Green asked if City Staff had any concerns. Boike replied the staff did have some of the same concerns as the commission; these concerns have been addressed. The plan before the commission today has addressed the concerns, for example, the relocation of the pet park. Kavanaugh asked Boike if City Staff likes the building. Boike said that city staff looks at the zoning code and the plan does meet the coding needs. Franzmeier asked about the blinds for the windows; she would like the blinds to be opaque; Tucci said that there will be 3 different types of blinds; there will be consistency within the units. Regarding security around the building, there are 16 cameras planned throughout the site (entry ways, garages, hallways and lot) and he has talked about adding eight more. There will be a light every 16 feet in the hallways. There will be management staff at the building every day for some period of time. Franzmeier asked about the connection to Hy-Vee. Boike said that there will be a connection to Hy-Vee, with the River to River trail.

**At the end of the answer and question session, Green made a motion for a 5 minute recess. The motion carried.**

After the recess, Kavanaugh opened the meeting to the public hearing. Kavanaugh asked the public to address the comments to the commission and said that the commission members are also residents that have volunteered to be on the commission. They are not paid the big bucks like the Council Members. He asked the people coming forward to be respectful. The task of the Commission is to review plans and see if they meet code and to make recommendations to Council for the best interests of the entire City. The commission realizes there are competing interests. It is not a debate forum. They will bring questions to staff after the public hearing.

Kyle Johnson, of 247 Thompson Ave, spoke before the commission; he lives near the entrance of the proposed site. He said that he is disappointed in the discussion of the proposed building. It has centered on the construction of the building and not the safety issues. He has serious concerns regarding children safely crossing Thompson Avenue for the school bus especially during snow emergency. Apartment dwellers will park along Thompson creating a lot of blind spots. Thompson is a residential road, not a commercial roadway like Livingston. There is no trail or sidewalk for children to cross safely. There will be no more parking on Thompson for longtime residents. Johnson said that an adequate traffic study was not done for the Hy-Vee development. The City does not know what kind of traffic will occur along Thompson Avenue. The traffic study that was done was absurd; half of the street was under construction when it was done. There is also inadequate lighting on Thompson; we do not know how the lighting is going to affect the quality of life. He thought that the space was going to be preserved as green space. If the City wants to invest in the space, he would like sidewalk and trails to be installed. If the City wanted to develop the space, he would like to see quality condominiums to be built with people who are vested in the community to live there. He is opposed to the site. He urges the commission to think about the safety issues and high traffic problems that the apartment building will cause.

Dave Heller of 228 Thompson Ave, came before the committee. He is completely opposed to this type of development. It is inappropriate to this site. Community discussions talked about building single family home and townhomes, never a four story apartment building. It is a manipulation of rezoning codes; it is a very

convoluted way of justifying a project. He cited projects in which the City ignored the established zoning and rezoned an area to a "PD." It gives the City the flexibility to do anything it wants. He urged the commission to be neutral and not do the agenda of City Staff and Council. The applicant has not proven that the building would not have an adverse effect on the neighboring residents. The adverse effects include the added traffic, the effect of a 4 story building being adjacent next to single family homes, (safety issues, site line issues, the large parking.) [He questioned] the B6 mixed use. It is the only zoning to allow four stories. He said there is no business element to this building. It's zoning gymnastics. It would be a lot easier if it were one zone and may be one variance but it combines four zones. The applicant has not shown a practical difficulty with the proposed plan except a financial one. It cannot count that as a hardship. The conditional use is the same type of thing; it has to demonstrate that it is not harmful the use and enjoyment of the surrounding properties. All the property owners' housing values will decline because of the apartment building. The repetitive architecture of the apartment building can be seen everywhere in and of itself does not create identity for the City. He has not found any resident that is in favor of the apartment building. He asked Commission to deny the application. It is planned development abuse. He asked the commission to deny the conditional use permit. He asked the Commission not to mix the zoning categories to make the apartment building fit.

James Codey of 1496 Oakdale Avenue came before the commission. They had problems with the leaves plugging up the system in the street drains. If the City wants to make the golf course residential then make it residential but not a four story apartment building. The trees along Oakdale should be taken down; the leaves cause flooding problems

Joseph Garcia of 1462 Carrie Street talked about safety and the county road; nothing has been said about Carrie Street. It is very bad; there are no sidewalks and people drive very fast through the streets there. It will be worse if the apartment building is constructed. People have to sit on the curb to wait for the bus. McPhillips has visited their neighborhood to see the traffic concerns. Garcia would like to make his street one way or into a cul-de-sac. There are a lot of children that are playing in our neighborhood. There wasn't a study done on Carrie. He opposed the apartment building. Many people come to visit apartment buildings. There won't be enough parking.

Linda Wiltfang of 1580 Oakdale spoke; she is very concerned about this increased traffic that the density will create. There is also a 4-story apartment building being built on Wentworth. There will be a lot of traffic from that building as well. The number one response from the police regarding speeding is, "There is nothing you can do about it." Putting up signs will not reduce the speeding. There were many accidents around the roundabout on Wentworth near her home. The County said that they cannot do anything about people speeding in the roundabout. People will not slow down on Thompson either. She is very concerned about safety. The area cannot support another 4-story building.

Sue Margo of 190 Thompson spoke. She talked about the golf course and wanting to keep it a green space. It is a prime piece of property; the value in it is that it is very green. It is a beautiful piece of property. There are deer, fox and ducks. The new apartment building is larger than the library; it takes a bigger chunk of property than the Y; it will infringe on many people who enjoy the green space. It is a mammoth building. It does not fit into what the neighbors have invested in. She agrees with what David said about the rezoning and shoehorning it into [this space.] Maybe an investment is needed to make it into single family residences. John Southworth of 1555 Meadowlane talked about the speeding on the roundabout on Oakdale now. There is no speed monitoring on Oakdale. He does not see it getting any better. He liked the golf course; it raised the value of the community. Traffic congestion and safety are the issues. He is opposed to the apartment building. John Jung of 1281 Ohio Street asked about the feasibility studies that were done for this project and how [this plan] could have passed. He agreed that there was no financial hardship shown by the developer; it is with the City. He is concerned about the 4-story building on this 4 ½ acre lot. It could be used for something else which is not high intensity use. Setting

this unit in the middle of residential properties is not the right thing to do. There are about 35 homeowners around this site. The City wants to put this in for tax dollars. The City could spend more money and put on 40 properties and get \$160-180k in taxes. Let's get off the City hardship thing. He has lived in West St. Paul since 1957 and too many things have been ramrodded in since then. John Gustafson of 211 Thompson Ave E said his biggest concern are safety and traffic. When Robert Street was being done, there was no parking; the residents struggle with parking every winter. Snow removal is an issue. Jan Ahola of 237 Thompson Ave E said she moved there 13 years ago. Since then she has noticed a significant traffic increase on Thompson; there are often parked cars blocking the view of traffic. Backing out of her driveway is hard. There have been many car accidents on Thompson. She would like the City to find ways to reduce traffic on Thompson. There are on average 3-4 accidents a month on her part of the road. My home value has decreased and the apartment complex will make it decrease more. She enjoys the view of the golf course. [The apartment] will increase the number of accidents and negatively affect the property values and permanently damage remove the aesthetic beauty that she's been accustomed to enjoying. Margaret Dahl of 1486 Oakdale said it takes 10 -15 minutes to get out of her driveway every day. She has also been in an accident while trying to transport a vulnerable adult in her car. It will be worse when the Hy-Vee comes in.

Kavanaugh closed the public hearing. He asked if staff has safety concerns. Boike said that traffic will increase with Hy-Vee; the traffic count rose from 9,600 to 13,000; it used traffic data and modeling data. (It was not performed during the construction.) Eight hundred trips would be added with the projects around the apartment, (the Hy-Vee, DARTS apartment building, and other proposed projects on Robert Street.) Boike said that the County is comfortable with the number. The study has not been finalized and there is a condition of approval that if the County moves the access to Carrie Street. Kavanaugh asked if sidewalk and trail are the purview of the county. Boike replied, yes and no. Thompson Ave is a priority for the Bike/Ped plan and Council is working on some of the segments. Marie and Oakdale are getting trails and sidewalks. A feasibility study for trails on Thompson will be done as well. Kavanaugh asked Kori Land about the legal issues for proposed zoning structure. Land talked about the criteria for approval of the each of the applications; the discussion of practical difficulties is a variance related standard. As proposed, with the use of the different zoning, there is no variance that would be granted. So there would be some flexibility built into the use of the PRD or PD. With respect to the rezoning, regarding amendments to rezoning, City Code talks about text amendment and map amendment, City Council would make the final decision with the Planning Commission making recommendation in accords with the Comprehensive Plan. The 2040 Comp Plan calls for mixed use, commercial and multi-use development. The conditional use permit, the use is permitted if certain conditions are met. There are seven criteria to meet. From what Land can see, every one of the criteria has been met and the platting requirement have also been met. Kavanaugh asked if a condition of approval could be to make Carrie a cul-de-sac. Boike said that it would not be a reasonable condition of approval on the applicant. Kavanaugh asked about the new stormwater created by the project; Boike said that it would be treated though a stormwater pond; a third party consultant is reviewing this and the applicant is working with the water reclamation project; it may be filtered through in Thompson. McPhillips asked Land about the condition use permit and the, "detriment to surrounding owners." how do we satisfy all seven of the conditions. Land talked about staff review and that conditions have been met. Regarding the police department and the increased density, Boike said that the police department recently has dedicated an officer to multi housing. Commissioner Green remarked that one of the recommendation of the housing plan was to look at how the police department deals with multi housing [buildings.] Commissioner Stevens talked about the increase of traffic and school buses.

Commissioners shared their thoughts on the site plan. Green said that it was not what she envisioned first for Thompson Oaks; the City is in need to multi-family housing. She does not know where else to put it. She does not know if not liking the project is enough to deny it. As a renter, she disagrees that renters are not vested residents. Renters can be great residents. She would like to get more information from a traffic study. She would

not mind putting this on hold for the traffic study. Kavanaugh said that he studied the Renaissance Plan, the 2030 plan, the 2040 plan and the Housing Plan. There has been talk about mixed use for 20 years. He has looked at all the meetings he has been to since 2014. For Kavanaugh, it is an exciting plan. There would be new residents that are coming into the community. The population has stayed the same for 40 years; it was in decline. The City is supposed to add new residents. He talked about the urban center tag; the City is subject to it. We need to find a place to put the new residents. The more people the better. We are in a housing crisis in terms of availability of housing. As a real estate attorney; he has represented all sides; he is trying to make the best decision for West St. Paul. A golf course is one of the worst land uses of its kind. He enjoys golf and it “blows his mind” that land would be used for a very small group of people. The fact that the golf course is closed and no longer a drain on the City is a good thing. This project checks all the boxes. There is green space. All residents can use it. Our plan says we need this housing. Our plan from twenty years ago said we need the housing. There will be concerns for traffic everywhere, we are nowhere near to the traffic in those suburbs like Richfield, Edina, and Plymouth. West St. Paul has room to grow. Studies show that apartments do not cause crime. There is no land left for single family housing. He would love to build 1,000 new homes. There are new residents that want to come to this town and he would like to be their voice. Franzmeier said that this was not the development that she envisioned. However, considering the financially impactful challenges with redeveloping and the fact that the City has a helpful and negotiable developer is positive thing. She understands all the perspectives being a property owner; she would not like to see a big building going in back of my home. She has issues with the fact the county has not weighed in at what they want to do on Thompson. She was blindsided with the Hy-Vee plan. She does not want that again. She is concerned with the parking ratio; we need to exercise our code and require the developer to provide 2 units per stall. She is disappointed that mixed use is not going to be really mixed use. She agrees with some public comments about changing the zoning to make this application work. She is not comfortable with the plan without having the River to River Trail plan firmed up because of the adjacency of the trails to the building. Stevens commented that she understands that the residents do not want to have a 4 story building built in the green space that they enjoyed for many years; she is not comfortable having the apartment built without the infrastructure in place. She also understands the need to more housing. She is concerned that the City and the County have not done much to alleviate the density concerns people have especially with the speeding in this area. She complimented the developer who is willing to work with individual residents’ requests; this is very different from other developers for this site. She is concerned that the City does not have answers from the County. McPhillips said that the traffic, the layout and the construction of the Hy-Vee is terrible. The City has no timeline from the County on how [concerns] would be handled. He likes ninety percent of the developer’s plan, except for the look of it. He too sympathizes with the residents; he feels that the County could help with their issues of safety and inflow/outflow. Boike commented that in his twelve years of experience, that the County is very conservative when it comes to terms of access. They like to limit access. Currently the County is not concerned with the access on Thompson; they will not move the access east. The City and the County do agree with the need for a Bike/Ped facility. All parties including community development and engineers agree on the fact for the bike/ped access. Most likely this development will happen in 2020. Tucci said that he will work with the City/County to put in the sidewalk to Carrie St. Green said that Thompson Oaks is going to be redeveloped; it will not stay green space forever. The site fits a need; the boxes have been checked. The City has a good developer and Green is comfortable moving ahead. Clpn. Justen gave an update on the underpass/tunnel project; opening bids will be taken in June 2020 and work will begin in July or August.

Boike reviewed the four applications with the commissioners. He explained that the Comp Plan is a broad overall perspective; it has mixed use. The rezoning request brings zoning into compliance with the Comp Plan and there is flexibility with the PRD. Density is covered by the Comp Plan, it allows 25-40-units per acre. The site plan ratio is 28-1. The developer can push the building further north and meet the setback and there is room for more parking. The project could technically fit building code; based on the site. The developer made changes to “make

the project happen,” which required the PRD. The County is asking for additional right of way for the future which would affect parking. Boike does acknowledge there are problems currently with residents trying to exit their driveways and safety concerns; the City has to wait for the County to address these concerns.

Kavanaugh disagrees with Franzmeier regarding the parking requirements. He would like to have less parking and allow the developer and the market to determine what they need. The preference would be more green space. Franzmeier would like to see less cars on Thompson and add more parking spots in the parking lot. Tucci said that there will also be bicycle facilities in the underground parking facility. Justen said there is a plan for a trail head in Marthaler Park to get on the River to River Trail. Thompson Park will also have a trail head. Franzmeier asked for more clarification on the mixed use zoning designations; and why “we’re bending backward to put in the B6 to put in the R4.” She does not want have all B6 to entertain R4. Boike clarified that the areas guided as mixed use by the Comp Plan could be R4 stand alone; commercial areas cannot have the R4. There are single family, multifamily, commercial, industrial and green space areas; with in these areas were the zoning districts. In trying to meet the demands from Met Council’s growth projection and from developers, the City strategically placed these mixed use in areas where they felt the development was appropriate. The Planning Commission approved this plan in June 2018. Green said that she understands the residents’ concerns regarding the safety issue; she has the same problems where she lives on Butler near 52. She said that she has to put aside her personal feelings regarding the apartment building and look at the project and see if it follows the zoning code. Boike said the City could ask for a permanent speed radar on the road; it could be a reasonable condition. Neighbors and the City can petition to lower the speed limit on that as well.

**A motion was made to approve the rezoning from R1, Single-family Residential to PRD, with B6, Town Center Mixed–use underlying zoning for 240 Thompson Avenue East.**

**The motion carried. 4 Ayes, 1 Nay, Commissioner Franzmeier opposed.**

**A motion was made to approve the Conditional Use Permit to allow an R4 Residential Dwelling (multi-family) for 240 Thompson Avenue East. Discussion followed. Franzmeier said that the language is too confusing. Boike clarified that the R4 in the statement does not refer to zoning; it only refers only to the development type and allows a R4 apartment building in the B6 district. It is conditioned upon the zoning ordinance amendment to follow. It is [being done] to conform to the Comp Plan. Franzmeier said that the motion is too confusing and would like the area to be rezoned R4.**

**The motion carried-3 Ayes, 2 Nays, Commissioners Stevens and Franzmeier opposed.**

Kavanaugh introduced the next item on the agenda for approval; the Site Plan Review for the redevelopment of the property. Kavanaugh said there were a number of listed conditions and asked for other recommendations from the Commission. There were six right now. Franzmeier recommended increasing the parking ratio to 2 stalls per unit. Boike asked if this were proof of parking or actual stalls. Proof of parking gives the city the right to have the parking added in the future. Franzmeier would like the ratio to be actual stalls. McPhillips recommended that the sidewalk connect apartments to Thompson with potential sidewalk connection to Carrie. Boike said that staff condition already has the connection to Thompson, the recommendation would be to add sidewalk to the access drive east to the bus stop on Carrie. Stevens recommended that the builder consider quality materials (i.e. stone and brick) that were more aesthetically pleasing and that would contribute more charm and character. Boike suggested a friendly amendment regarding the sidewalk to Carrie pending the approval from the County; it is in their right of way. Boike also suggested the consideration of a speed monitoring device.

Land suggested directing staff to work with the County to work on driveway signage. Green suggested that staff work with the police to increase patrols effective immediately. The commission recommended increasing the

proof of parking to the north side and the east side for 16 additional stalls and tree line to be adjusted to be accommodated into the site plan.

**A motion was made to approve the site plan for 240 Thompson Avenue East, subject to the staff recommended conditions to the listed conditions and the recommendations generated by the commission meeting. The motion carried. All Ayes**

**A motion was made to approve the preliminary/final plat for 240 Thompson Avenue East. Discussion followed. Franzmeier asked if Council would see a revised plan from the County. Boike said probably not. The county will have the right to move the driveway of the apartment building, (when the building permit is reviewed) and the county is asking for additional right of way (if the county needs to widen Thompson Avenue.) The access point is unknown; there is a built-in condition to handle it. The motion carried. All ayes.**

All four recommendations will go to the October 28 Council Meeting.

## **NEW BUSINESS - NA**

## **OLD BUSINESS**

### **PC CASE 19-09 - Zoning Ordinance amendment, Regarding Allowing R4 Multi-Family Housing in the B6, Town Center Mixed-Use District - City of West St. Paul**

Kavanaugh said that the amendment is part of the Comp Plan to meet the 20 units per acre requirement. The commission identified where mixed-use areas would be in the Land Use map. Boike said the amendment would allow R4 in the B6 districts through the conditional use permit, standalone multi-family housing; whether or not a PRD is needed would be site dependent. Kavanaugh said that it helps with fully developed cities. It is hard to piece together multiple parcels [without the PRD.] Over time properties get sold and pieced together and needs change. Boike says that we probably need to change city code. For example, parking requirements have changed; they are liberal; there is too much parking.

Boike said that this amendment is needed for the apartment site plan to move forward. Franzmeier remarked that this was being done in a backward fashion. Boike agreed.

**A motion was made to approve the Zoning Ordinance amendment. Regarding Allowing R4 Multi-Family Housing in the B6, Town Center Mixed-Use District - City of West St. Paul. The motion carried. 4 Ayes, 1 Nay, Commissioner Franzmeier opposed.**

## **ADJOURN**

**A motion was made to adjourn the meeting at 11:27 pm. The motion carried. All ayes.**

**Respectfully submitted,**

**Sharon G. Hatfield**

## WEST ST. PAUL COMMITTEE OF ADJUSTMENTS

The regular meeting of the West St. Paul Planning Committee of Adjustments was called to order by Chair Morgan Kavanaugh, on Tuesday, January 21, 2020 at 7:00 pm in the Municipal Center Council Chambers, 1616 Humboldt Avenue, West St. Paul, Minnesota 55118.

**ROLL CALL:** Morgan Kavanaugh, Samantha Green, Peter Strohmeier, Dan McPhillips, Lisa Stevens, Tori Elsmore

**Also Present:** Jim Hartshorn, Community; Melissa Sonnek, City Planner; Kori Land, Attorney; John Justen, Councilman

Community Development Director Hartshorn introduced Melissa Sonnek as the West St. Paul's new City Planner. Sonnek replaces Ben Boike. Sonnek has a master's degree in planning and has been shadowing Boike for a few years. Hartshorn said there is no one more qualified for this position.

The commission welcomed new member, Tori Elsmore; she has lived in West St. Paul for a year in Ward I. She previously lived in Inver Grove Heights and served on the Planning Commission there. She is a lawyer who loves a good ordinance.

**Adopt Minutes: Minutes from the November 19, 2019 meeting were approved.**

### PUBLIC HEARINGS

#### **PC Case 19-15 – Conditional Use Permit, Site Plan, and Preliminary Plat Review for the Construction of a New Medical Office Building at 1140 Robert St. – Dan Saad**

Sonnek reviewed the application, on behalf of Dan Saad, for the new medical office building at 1140 Robert Street. She showed the current uses and zoning for the buildings around the proposed facility. She reminded the commissioners that her review was a continuation from last month's meeting. The applicant has secured more parking stalls from adjacent properties since last meeting. This has eliminated a variance needed for the site.

Sonnek asked the commission if there were any questions. Commissioner Green asked Sonnek for a picture of how the adjacent parking lots abut the Wakota lot. Sonnek showed a picture of it and said that code requires that the parking stalls be within 150 feet of the property line. Wakota will get 10 shared stalls with Twin Ventures and the remaining stalls from Rivera Chiropractic. Sonnek said that it is mostly open concrete parking lot, (no curbing). The parking lots in general are "in rough shape." It is in the plan to repave the Wakota and Raddatz parking lots. Green asked how the cities would ensure that the shared parking lot agreements would be maintained. Sonnek said that through resident and customer complaints, the City would find out if the shared parking agreements were terminated. The City would find out if side streets were being used for parking. Council would be able to revoke the Conditional Use Permit if this happened. Sonnek said because Wakota most closely related to a medical facility, staff felt it was the best fit. Commissioner Elsmore asked if any licensed doctors worked there. Sonnek said that this is a question for the applicant... Elsmore asked if they are required to be licensed through the State of Minnesota; Sonnek asked the city attorney if it were required; it is not.

The applicant, Dan Saad, Executive Director of Wakota Life came forward with his attorney, Rich Gabriel. They have worked with city staff on the report that was just reviewed and are in agreement with it except for 2 issues. In a previous meeting with Hartshorn and Boike, they asked that the building permit be conditioned upon the filing of the final plat by occupancy of the premises. Gabriel's office will be doing the platting. Gabriel does not know if he can get the platting done before construction. They

had discussed with Boike and Hartshorn last November. Boike said in an email that they can condition the site plan for the final plat to be approved by City Council and recorded by the County prior to the occupancy of the new building rather than by release of building permit, (to allow them to go forward with the building.)

There was also a change with the parking. Gabriel talked to Kori Land about this. The applicant would ask that their staff park in the southerly end of the parking lot, not necessarily in the shared lots. There is not a lot of need for parking during the day. Nancy Raddatz uses her parking mostly at night; the two Raddatz and Wakota lots would be adequate for Wakota. Saad explained the Conditional Use Permit for the medical office was because of the ultrasounds that are performed. There is a doctor what writes off on the sonogram. There is also a sonographer. Medical service makes up only 18 percent of the business; the other 80 percent is “families coming in to get diapers, wipes and clothing for the kids.”

Commissioner Stevens asked about volunteers: Saad said they have currently (with volunteers) is 6-7 people at the building; daily they have about 17 clients come to the Center, which means about two an hour. They may stay about 15 -20 minutes for training... Hopefully Wakota will double the clientele with the new building. .It would be nice for the employees to be able to park [legally] on their own lot especially on Saturdays. Green asked if anyone has spoken to Nancy Raddatz; Gabriel said they have be in contact with their attorney as recently as that morning; they presented Raddatz with four different ways their lots could be used. There is a common easement; Raddatz does not dispute it. They have shared parking lots for years. Gabriel said that Raddatz is most concerned with losing parking spaces. He has not heard back from Raddatz regarding the parking options. Saad said that he is trying his best to ensure that there is a safe path to their building from the parking stalls. Especially during the busy winter months he will ask his employees to park in the shared spots, and he is working with Twin Ventures to make sure that a safe path is plowed to the front entrance of the Wakota building. There are not a lot of parked cars at Twin Ventures and the chiropractic during the day; that is why there is so much available parking. There is also a crosswalk into the door front of the Wakota building. If striping is needed; he is willing to do it. He will work with both property owners for proper signage for the parking spots. His staff will also inform clients as to the shared spots. Commissioner Mc Phillips asked about alley lights in the back; Saad answer that the City does not want lights that hit the neighboring residents at night. The Wakota closes at 5 pm and Saad noticed that is very dark at the back of the building. He does not know what type of outdoor lighting Nancy has at night. Raddatz has been doing night time recitals for many years and has had no problems.

Stevens asked about the business hours in the new Wakota building. Saad said they would still maintain regular business hours for the most part; they may sometimes have something going on Saturday. The Wakota has never had to have classes outside regular business hours. Stevens asked about doubling the number of clients with the new facility; Saad said that the new facility would provide some much needed storage space and a new area for occupational training for classes in hospitality; there will be a child care area. They would like to have hands on training for child care. Students could use Wakota for [job] references. The new building would not be used just for offsets. They are also looking for a mental health worker a couple days a week. Services would be free, but [Wakota] would like to charge for rental space. It would be nice to get the rental revenue; as a non-profit it is hard to get all expenses covered by donations. They would also like to work with a satellite clinic located in White Bear, Alpha Family, for wellness checks; they would rent space to a health worker for these visits. Stevens asked about how medical emergencies are handled. Saad said that they partner work with Dr. Hernandez of Entira Clinics and United Family Medicine. If there is a real emergency, they call 911. He said they have not had that type of emergency. If something is seen in an ultra sound; they call Dr. Hernandez right away. Stevens

asked about a back-up plan for the parking agreements. Saad feels good about the relationships with adjoining properties. He is also reaching out to two other nearby properties, Crown Trophy and the Mexican candy store, and to Nancy Raddatz with interest in buying their properties. The other factor is that West St. Paul is also going to change its parking stall codes to reflect what is going on in the rest of the Twin Cities area and the number of stalls required per square foot will decrease. Green asked if there is not going to be a lot of people, why does the building need such a big foot print. There is a lack of green space. Saad said he has spoken to the Mayor; the Mayor said to not make the building too small. Originally the building was going to be bigger on the ground and encroach on the parking lot. Instead they built up and have storage space. They are trying to anticipate the building needs for the next 20 years. Saad hopes to never have to go through another capital campaign. Saad is also considering having a green roof like the Environmental Committee recommended. McPhillips asked where the clients come from and the about Wakota's funding. Saad said seventy-five percent come from zip codes 55118 and 55106; the area covered is South St. Paul, Inver Grove Heights and Mendota Heights to Eagan. It's quite a large area. Most of the funding is from private donations, (250K). They have also received the Positive Alternatives Grant from the MN Department of Health, the grant is about a one-third of the revenue. Stevens asked about emergency vehicle access to the facility. Sonnek replied that the application has been reviewed by the fire department; The Fire Department signed off on the application and has no concerns.

Saad introduced the architect for the building, Carlos. He spoke about the windows on the south side of the building. He just received the findings from City Staff regarding the visual relief yesterday and has not had time to address the recommendation; He disagrees with the Building Inspector about the allowance of the windows on the south side. The relief on the north side was something that was already agreed upon on the previous plan. He wants to revisit with staff. He said that changing the relief is relatively simple; however, he wants it to comply with international building code. Kavanaugh asked about condition #4 regarding the windows on the southern elevation and the 40 percent coverage. Carlos said these the southern windows are not allowed per international code. Sonnek has spoken with the Building Official. He is of the opinion that up to 45 percent window coverage could be met on the southern elevation. Carlos said that it is not a matter of ordinance but of building code. It is a different set of rules. In closing, Gabriel restated that his office will try to work as fast as they can on getting the final plat approved. Recording the final plat and making this a contingency on releasing the building permit would be detrimental to them. They asked that it be conditional to the occupancy rather than the release of the building permit. Kavanaugh asked Sonnek to comment on the requirement. Sonnek said that typically it is based on the issuance of the building permit not the C of O. The City wants the plans to be solidified prior to the beginning of the construction of the building. It is a typical recommendation from staff. Kavanaugh said it would be taken under consideration.

Kavanaugh opened the meeting to the public hearing. Chris Gevara from Ward III spoke. She has sat on the Environmental Committee and other advisory committee like the Robert Street Renaissance Plan; this plan was accepted by City Council in 2017 She talked about the goal of generating economic prosperity and lifting West St. Paul into a complete position. The plan is being used to guide development. The north end of the City was marked as a weakness and the Wakota site was marked as a weakness. Residents want an area that they can use and that is not blighted. Guevara talked about how the report notes that the Robert Street corridor lacks identity and has no places of significance in which the citizens can be proud. The new building will not make people proud. It is the wrong location for a building of its size. The plan calls for development that would attract new residents and businesses. The new building will not bring economic prosperity. The plan calls for more human scaled zoning code and to have more usable public space. There was to be more redevelopment with retail commercial interest on ground

levels that people could walk to. This building does not benefit the immediate communities. Gevara said there is a lack of zoning and ordinance changes to support the Renaissance Plan. To approve the plan would be short-sighted; [the Commission] should think of the ramifications for the next 20-40 years.

Julie Eastman of Ward I came before the commission. She talked about the size of the proposed building. She said that the building would almost quintuple in size. She talked about the Sola Salon and the Telecris buildings; the City is receiving tax dollars from these businesses and not from Wakota. She talked about the parking variances; this is not a good way to go. These contracts could be terminated at any time. Wakota talks about growth and leasing to space to like-minded services. This would bring more traffic and additional permits. She questioned the transparency regarding expanded development on and potentially buying more of the adjacent properties. She does not want the building to be a focal point of the community cityscape.

Katie Dohman spoke before the Commission. She talked about the conditional use permit and about client privacy and HIPAA laws; Wakota is not bound by HIPAA. They have no laws which bind them to keep information confidential. There is nothing preventing them from sharing information from family members, people off the street or newspapers. They can disclose history, test results, any decision the client has made. There is no recrimination or any ability to sue for medical malpractice if they give bad advice. The state of MN does not require sonographers to be licensed. As Wakota is not really a medical facility, Wakota's sonographers are not required to be licensed. Wakota is not required legally to disclose medical problems found during the sonograms as normal medical facility would. Wakota also has false medical information on their website regarding the abortion reversal pill and that birth control is a known carcinogen. This is not evidence based standard care. The conditional use permit is misleading. She would like the commission to think about sanctioning this building with a lot of asterisks (parking variances) who will then sublease to like-minded organizations. As a taxpayer, she does not want to see [this type of] development. Especially when that property does not pay taxes. [For this location,]; it should be a slam dunk development. It should make sense for the corridor. Shoehorning a monolithic box into a tiny space where you're not sure of the use, sounds like blight.

Laura Zannmiller of Ward I, talked about property taxes; she lives in a small house with 2K in property taxes. Properties in the area pay as low as \$5,000 to \$11,000 in property taxes. She is concerned with the possible expansion of Wakota buying adjacent properties. She has heard a lot of the costs of Robert Street; she said that she does not want to lose more revenue with the Wakota building.

Judy Ronnelly of Ward III came to speak. She is a 28-year resident. She has a 40 year career as a registered nurse and she served nine years in the United States Air Force. She has been a school nurse, a hospice home care nurse, and for 23 years she has been a licensed pediatric nurse practitioner. She has provide care in private clinics, community clinics, schools a drop in center for homeless adolescents, as well as a program for runaway girls who are being trafficked sexually. She is currently a nurse practitioner at a local clinic and an adjunct professor at a local university. The treatments and care she provides is based on evidence-based scientific research. Evidence-based health care is the standard for care in the clinics she has worked in. She is concerned with clinics that provide care that is not evidence-based and can provide false and misleading information. She has had instances when other crisis pregnancy centers clinics have not administered the same kind of testing her clinics have administered; it causes confusion and mistrust in the medical system. This happens with ultrasound pictures as well. As a healthcare provider she is concerned that Wakota wants to expand; She does not want the city to be known for a center that does not have scientific evidence based practices or as having a clinics in our the city is giving out false information to women about their bodies. This clinic may not be the best fit for West St. Paul.

Mary McCauley of 1223 Ottawa, Ward III came to speak. She has been a resident for 35 years. She lives in the traditional territory of the Anishinaabe, Her mother volunteered at Wakota Health Care center; she was probably one of the original volunteers. (McCauley has been a psychotherapist for the last 40 years.) She suspects that it is not the same agency that it was and that they are not transparent in who they are and what their goals are. She talked about the partnerships Wakota has listed with other organizations. A partnership is explicit, collaborative and has shared goals. NAMI is a listed in partnership with Wakota. National Alliance for Mental Illness (NAMI) is recognized for the quality of care. NAMI has distinctly different views on how to handle mental illness. NAMI would help people make their own best decisions and not sway women to their organization's goals. McCauley spoke with the Executive Director of the Minnesota branch of NAMI; she wasn't aware of the partnership with Wakota. Just Between Friends is also not familiar with Wakota Life; they do not know who Wakota Life is. These two responses left her with the impression that the partnerships are foggy, not transparent and possibly misleading. McCauley's head is spinning about the size of the new building and how Wakota says they will not have many more clients. The parking requirements also concern her. The reasoning behind expanding the building only because the Mayor told them is slippery. She wonders if the other information that was provided to the Planning Commission was misleading.

Andrea Freeson from Ward III spoke. She serves the community as a life-span doula. She helps people from birth to end of life care. She will echo what has been said before. She has valid concerns regarding the medical facility classification. She reminded the commission about the massage parlor that wanted to expand and relicense. The City did not have regulation around the massage parlor classification. As a doula, her responsibility is to provide actual fact-based care to clients. When a business is qualified as medical and is not doing this type of care, the City may need to revisit what qualifies as a medical facility. Anyone can administer a sonogram. Wakota does do some great things; like car seats. She has sent people there to do that type of work. She would like Wakota to be honest and factual. Everything's very foggy. We have to look at backgrounds and licensing. There is debatable employment experience at Wakota. West St. Paul needs to be astute and aware about what is expanding in the City.

Kavanaugh closed the hearing. There were no questions to the applicant.

The commissioners shared their comments about the application. Green has some very deep concerns with the "modge podge" parking arrangements especially if the City were to revoke the conditional use permit for Wakota. The blue print is huge for this area. She is not sure if this can be classified as a medical facility.

Elmore said if Wakota is principally engaged only 13 percent of the time [in sonograms,] why is it being classified as a medical office. She wondered if there were a better conditional use or a charitable use. Sonnek said a new use could be explored. Stevens asked how other charitable organizations are classified. McPhillips remarked that the parking and the long range vision will create a mess. Whether or not Mr. Saad acquires the other properties; it is tenuous. It is a lot of building and hodgepodge parking. Strohmeier agreed and talked about zoning decisions and impervious surface. It is important whenever you have development to think about climate change, and the effect on sewers. The City of West St. Paul has an aging sewer system. Ms. Gevara talked about the guiding documents. They gives guidance to city council; she took the words out of his mouth. The parking seems to be ever changing. He has concerns about the 11<sup>th</sup> hour parking agreements.

**A motion was made to deny the Conditional Use Permit, Site Plan and Preliminary Plat Review for the new medical office building at 1140 Robert Street because of the building does not fit in to the medical facility classification and because of the foot print because of the site plan.**

**The motion carried. All Ayes**

The recommendation goes to council on Monday.

**NEW BUSINESS**

Sonnek reminded commissioners that at the February meeting the election of new officers would be held.

There will be a mandatory work session with Kori Land on March 17 at 4:30 pm.

**OLD BUSINESS-NA**

**ADJOURN**

**A motion was made to adjourn the meeting at 8:47 pm. The motion carried. All ayes.**

**Respectfully submitted,**

**Sharon G. Hatfield**

## WEST ST. PAUL PLANNING COMMISSION

The regular meeting of the West St. Paul Planning Commission was called to order by Chair Samantha Green, on Tuesday, May 19, 2020 at 7:00 pm at the Municipal Center, 1616 Humboldt Avenue, West St. Paul, Minnesota 55118.

**ROLL CALL:** Tori Elsmore, Maria Franzmeier Morgan Kavanaugh, Dan McPhillips, Lisa Stevens, Peter Strohmeier, Samantha Green

**Also Present:** Melissa Sonnek, City Planner; Shirley Buecksler City Clerk, Dan Nowicki Marketing & Communications Manager

Chair Green thanked the commission for entrusting her with the role of Chair. She said that the commission was a great group of people with different experiences and varying opinions. Their recommendations are thoroughly vetted and well thought out.

**Adopt Minutes:** Minutes from the April 21, 2020 meeting were approved.

### PUBLIC HEARINGS

#### **PC Case 20-04-Site Plan, Preliminary and Final Plat Review to Allow a Climate Controlled Storage Building at 1665 Oakdale Ave- More Space LLC**

City Planner Sonnek reviewed the site plan report for construction of a climate controlled storage building at 1665 Oakdale Avenue. The site is currently vacant with properties to the north, south and west zoned as Light Industrial. The property to the east is the West St. Paul Sports Complex which is zoned Multifamily Residential. The proposed building will be three stories high and is similar (but larger in scale) to the storage building on Moreland Avenue. Interestingly, the site has been vacant for 100 years. Sonnek said that the building and parking setbacks in the plan meet code requirements. The proposed number of parking stalls is 62; this includes 41 proof of parking stalls. There would be 9 stalls inside of the building for loading and unloading. The driving aisle widths exceed minimum requirements. Staff recommends as a condition of approval that the lighting plan be revised because of a small amount of lighting at the property line. The proposal does not have any signage plans. The plan calls for the removal of 104 quality trees. The zoning ordinance requires that 30 percent of the trees be replaced. The plan falls short of the requirement at 210 caliper inches. Staff recommends as a condition of approval that the applicant increase the number of trees or the tree size. The applicant must also construct additional screening toward the Sports Complex. The Environmental Committee has reviewed the plan and is satisfied with the proposed number of trees. They would like the applicant to use pollinator-friendly plants, consider the addition of a green roof and that the applicant adhere to Dark Sky compliance codes. Staff recommends as a condition of approval that the applicant consider the Environmental Committee's recommendations. Sonnek said that the proposed building materials comply with city code. There are no specifications regarding trash enclosures in the plan. Staff recommends as a condition of approval that all trash enclosures comply with city code. Because the site is over one acre, the site plan went under review for stormwater. An outside consultant, WSB, reviewed the site and provided a memo (May 12) outlining recommendations for the site. Staff requires that the applicant adhere to all the items listed in the memo. Dakota County has reviewed the proposal; they requested right of way along Oakdale Avenue and

reducing the number of curb cuts in the plan to one. Staff recommends as a condition of approval that the applicant adhere to the items listed in the Dakota County Plat Commission memo, (April 16.)

Sonnek asked if there were any questions. Strohmeier asked about the height of the proposed building and the how much bigger is it compared to the to the Moreland Avenue storage building. Sonnek replied that the new building would be 44 feet at its highest point; the Moreland building has a 17,000 foot print and the new building would have a 120,000 square foot print. The larger size is not “out of line” with the Industrial Zoning area. Strohmeier asked about the history of the site. Sonnek said that the site is vacant and has not had any development. She is not sure why. Kavanaugh asked about the proof of parking. Sonnek said that the code allows for proof of parking to count toward the minimum; there is no set ratio. Sonnek commented on the Moreland storage facility; there have been no permits for proof of parking and no complaints regarding parking either.

Franzmeier asked if the storage facility would be geared toward personal or commercial use and about the building materials. Sonnek said that it would probably be used for personal use. There would be an increasing demand for storage with the construction of smaller apartment buildings. She would not be surprised if there were another application of this type. There are presently two storage facilities in the City. She said that the applicant could answer the question (commercial or personal use) better during the public hearing. Regarding the building material requirements, it is based more on the zoning district and not the use. Franzmeier said she is okay with the materials used but she does not consider precast the same aesthetic as brick. If the commission sees more buildings like this in a commercial area, she would like the commission to redefine the materials [requirements.] Sonnek said that the City does require higher level materials for commercial areas.

McPhillips asked about the one lane, one turn, one entry, one curb cut versus two curb cuts. Sonnek answered that originally the applicant did plan two curb cuts but Dakota County is very restrictive with their access. They are limiting the access to one entry. The applicant is making it work. Franzmeier said it would be difficult for a truck to get into the facility with only one curb cut and no turn lane.

Green opened the discussion to the public. Don Roth of 1689 Oakdale Ave called in. He welcomed the developer to the neighborhood. He has been watching the lot for 37 years; it was sold in the late nineties. He related that during the Robert Street Reconstruction, Eureka used the lot to stage their equipment. They left two feet of class five dirt behind that blends into his property. It is at a higher elevation than his own property. He would like the class five removed to blend back into his property line. He is concerned about drainage.

With no other callers after Roth, Green closed the public hearing.

The applicant, Larry Koland of 4814 Blaine Avenue, Inver Grove Heights called into the meeting. He was happy to answer questions. Kavanaugh asked about the snow removal plan. Koland does have a plan. He will [plow] the drive-through on light snow days; on heavier snow days the snow will be removed and taken offsite. He had a similar problem at his other location which is also a constrained location. Removing the snow from that location has not been a problem. Kavanaugh asked about the actual number of parking spaces needed for the building. Koland said that one of the cars at the More Space facility is his onsite employee. The new space is a “drive-through opportunity”; customers would travel to the back and through the facility to load and unload. It will be a very “quiet” use. He said that if there were four cars on the site it would be a busy day. The parking units in the front would be for people to reserve a space and to check-in. Kavanaugh said that if not many spaces were needed in the front, stalls could be converted into proof of parking and then meet the code tree requirements and the minimums for trees. Koland said that he was open to this; he defer this to city staff and the architects.

McPhillips asked about the leftover soil; Koland has looked at this with Engineering City Staff and with the architects; it has been accounted for in the plan. The drainage would be better [after construction.] Koland said that Quinn with C& H Architects can also talk about this from a professional perspective. Stormwater will not be an issue for the neighboring residents.

As there were no more questions, Green thanked the applicant for his participation.

Commission members commented on the plan. Kavanaugh said he had no issues as pertains to the code; he does have concern with the City parking requirements. It is a good example of how, “out of whack,” the parking requirements are in the City. This is a large building that does not require a lot of parking stalls and we are trying to “jam in” a lot of proof of parking that is not needed. Kavanaugh said that as a condition of approval, the applicant should work with the neighbor on the soil and elevation issue. He recommends that Council rework the parking requirements. The Commission needs to work on this. Stevens said this is a great example of some place where they could lose parking. It is not a retail building. She prefers that the commission worry more about the aesthetics, as opposed to more concrete or tar. Franzmeier asked the parking stalls that would be lost. Kavanaugh said he was referencing the site plan and to the front of the building. It is a “blank wall” on the plan. It would be nice to line up trees on this wall. The site would look a lot better. It is about 8-9 parking stalls. He would refer to staff on the number. McPhillips says this would make good sense. Stevens asked if there were any side street parking. Sonnek said there is no parking along that side of Oakdale. Sonnek said the side street would be Lothenbach to the south, Wentworth to the north, fixed in middle of these streets. It would be a long haul if they parked on these streets. Kavanaugh asked about the retention pond; Sonnek said there would be a retention pond along the east property line.

**A motion was made to approve the site plan with added condition number 11, that the applicant adjust the parking to accommodate for additional trees and proof of parking (per staff recommendation depending on what makes design sense,) and number 12, a condition to make sure the applicant addresses the soil elevation question raised by a neighboring resident, (with the recommendations made by staff). The motion carried. All Ayes.**

**A motion was made to approve the preliminary and final plat review as recommended by staff. The motion carried. All ayes.**

**NEW BUSINESS-NA**

**OLD BUSINESS-NA**

**OTHER BUSINESS-NA**

**ADJOURN**

**A motion was made to adjourn the meeting at 7:46 pm. The motion carried. All ayes.**

**Respectfully submitted, Sharon G. Hatfield**

To: **Planning Commission**  
From: **Melissa Sonnek, City Planner**  
Date: **July 21, 2020**

**Preliminary and Final Plat Review for Two Lots at the SW Corner of Robert and Annapolis St. – Dakota County CDA**

---

**REQUEST:**

The Dakota County Community Development Authority is requesting the review of a preliminary and final plat for two lots totaling to 1.77 acres at the southwest corner of Robert St. and Annapolis St.

***ATTACHMENTS:***

*Application/Notice*  
*MnDot Review*  
*Plat*



## CURRENT USES AND ZONING:

	Use	Zoning
<b>Subject Property</b>	Vacant Lot	B5 – North Gateway Mixed Use
<b>Properties to North</b>	City of St. Paul	City of St. Paul
<b>Properties to East</b>	Senior Living Apartments	B5 – North Gateway Mixed Use
<b>Properties to South</b>	Children’s Minnesota Clinic	B5 – North Gateway Mixed Use
<b>Properties to West</b>	Single Family Homes	R1 – Single Family

## ANALYSIS:

### Plat Summary

Gross Acres – 1.77 (77,101 sq. ft.)

Proposed Number of Lots – Two

Total Easement Sq. Ft. ~ 7,628

### Easements and Right-of-way

The proposed plat dedicates 10 feet of drainage and utility easements along Annapolis and Haskell St. As well as 5 feet along the alley way (western property line) and ranging between 2 to 4.5 feet along Robert St. These are the standard easements requested by the City. No additional right of way was requested for Robert St. by the City.

### Existing Conditions

The site is currently comprised of 11 vacant lots that the CDA purchased several years ago with the intention to redevelop.

## MNDOT REVIEW:

No additional right of way was requested by MNDOT. As a part of the review MnDot outlined items such as noise caused by state highways, transit connections, water, drainage, and permitting process. City Staff is recommending as a condition of approval that the applicant address the items outlined in the MnDot memo dated July 15, 2020.

## ENGINEERING REVIEW:

The City Civil Engineer reviewed the plat application and had no specific recommendations or requirements to add to this memo.

## STAFF RECOMMENDATION:

**Staff recommends the APPROVAL of the PRELIMINARY AND FINAL PLAT for the two lots at the southwest corner of Robert and Annapolis St. subject to the following conditions:**

1. The plat shall be recorded with Dakota County within one year of approval and prior to the application of a building permit, and
2. The applicant shall address the items outlined in the MnDot memo dated July 15, 2020.

### Timeline

July 21 – PC Public Hearing

July 27 – CC Public Hearing



City Hall  
 1616 Humboldt Avenue  
 West St. Paul, MN 55118  
 651-552-4100  
 FAX 651-552-4190  
[www.wspmn.gov](http://www.wspmn.gov)

## PLATTING APPLICATION

**OFFICE USE ONLY**

Case No: 20-06

Date Received: 06/26/2020

Receipt No: 2020-0881

60 Day Date: 08/25/2020

Filing Fee: \$275 + \$2 each lot  
 Escrow Amount: \$600 (1-2 lots)  
                           \$1,600 (3 or more lots)  
 Total Fees: \$ 879.00

### CONTACT INFORMATION

Name of Applicant: \_\_\_\_\_  
 Address of Applicant: Dakota County CDA  
1228 Town Centre Drive, Eagan MN 55123

Phone # 651-675-4477 (Kari Gill)  
 Email: kgill@dakotacda.state.mn.us

Name of Owner: Dakota County CDA  
 Address of Owner: 1228 Town Centre Drive  
Eagan MN 55123

Phone # 651-675-4477 (Kari Gill)  
 Email: kgill@dakotacda.state.mn.us

Name of Surveyor: Bolton & Menk  
 Address of Surveyor: 12224 Nicollet Avenue  
Burnsville MN 55337

Phone # 952-890-0509 ext 2509 Eric Wilfahrt  
 Email: eric.wilfahrt@bolton-menk.com

Name of Engineer: HB Corporation  
 Address of Engineer: 701 Washington Avenue North, Suite 200  
Minneapolis MN 55401

Phone # 612-766-2849 (Adam Besse)  
 Email: adam.besse@lhbcorp.com

### PLAT INFORMATION

Legal/PID # of the Property Involved: 424810001010, 1020, 1030, 1031, 1040, 1052, 1060, 1080, 1090, 1100, 1110

Total Acreage: 1.77 Proposed Number of Lots: 2 (two)

Proposed Name of Plat: Gateway Place Apartments

Plat meets all minimum subdivision requirements. If not, explain: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



**CITY OF WEST ST. PAUL, MN  
NOTICE OF PUBLIC HEARING**

The listed items below will be a Public Hearing at the Planning Commission Meeting Tuesday, July 21, 2020 at 6:30 pm and a Public Hearing at the City Council Meeting Monday, July 27, 2020 at 6:30 p.m.:

**PC Case 20-06 – Preliminary and Final Plat for two lots at the southwest corner of Robert St. and Annapolis St. – Dakota County Community Development Authority (CDA)**

If you have any questions regarding the hearing item listed above, please contact Melissa Sonnek, City Planner at (651) 552-4134.

---

For Informational Purposes Only – Not for Publication

Shirley Buecksler  
City Clerk

Published: July 12, 2020  
St. Paul Pioneer Press

Posted: July 7, 2020  
Municipal Center

July 15, 2020

Melissa Sonnek  
City Planner  
City of West St. Paul  
1616 Humboldt Avenue  
West St. Paul, MN 55118

SUBJECT: MnDOT Review # **P20-041**  
**Gateway Place Apartments**  
SW Quad MN 952(S. Robert St.) & East Annapolis St.  
West St. Paul, Dakota County

Dear Ms. Sonnek :

Thank you for the opportunity to review the **Gateway Place Apartments** development. MnDOT has reviewed the documents and has the following comments:

**Noise:**

MnDOT's policy is to assist local governments in promoting compatibility between land use and highways. Residential uses located adjacent to highways often result in complaints about traffic noise. Traffic noise from this highway could exceed noise standards established by the Minnesota Pollution Control Agency (MPCA), the U.S. Department of Housing and Urban Development, and the U.S. Department of Transportation. Minnesota Rule 7030.0030 states that municipalities having the authority to regulate land use shall take all reasonable measures to prevent the establishment of land use activities, listed in the MPCA's Noise Area Classification (NAC), anywhere that the establishment of the land use would result in immediate violations of established State noise standards.

MnDOT policy regarding development adjacent to existing highways prohibits the expenditure of highway funds for noise mitigation measures in such developed areas. The project proposer is required to assess the existing noise situation and take the action deemed necessary to minimize the impact to the proposed development from any highway noise.

If you have any questions regarding MnDOT's noise policy please contact Natalie Ries in Metro District's Noise and Air Quality Unit at 651-234-7681 or [Natalie.Ries@state.mn.us](mailto:Natalie.Ries@state.mn.us).

An equal opportunity employer

***Transit:***

There is a southbound bus stop on Robert St at Haskell St at the south end of the site. If construction will impact this stop, coordinate with Metro Transit to mitigate impacts. Metro Transit requests the developer contact them at:

[Transit-BusOps-StreetSup-AssistManagers@metc.state.mn.us](mailto:Transit-BusOps-StreetSup-AssistManagers@metc.state.mn.us) so they can work together to make sure to avoid possible impacts and disruptions to the stop as well making sure the stop is up to proper specifications when project is complete.

If you have any questions regarding this comment, please contact Jason Junge, Multimodal Planning, [Jason.Junge@state.mn.us](mailto:Jason.Junge@state.mn.us) or 651-234-7878.

***Water Resources:***

A MnDOT drainage permit will be required to ensure that current drainage rates to MnDOT right-of-way will not be increased. The drainage permit application, including the information below, should be submitted online to: <https://dotapp7.dot.state.mn.us/OLPA>

The following information must be submitted with the drainage permit application:

- 1) A grading plan showing existing and proposed contours.
- 2) Drainage area maps for the proposed project showing existing and proposed drainage areas. Any off-site areas that drain to the project area should also be included in the drainage area maps. The direction of flow for each drainage area must be indicated by arrows.
- 3) Drainage computations for pre and post construction conditions during the 2, 10, 50 and 100 year rain events.
- 4) Time of concentration calculations.
- 4) An electronic copy of any computer modeling used for the drainage computations.
- 5) See also the attached Drainage Permits Checklist for more information.

Once a drainage permit application is submitted, a thorough review will be completed and additional information may be requested. Please direct questions concerning drainage issues to Jason Swenson (651-234-7539) or [Jason.Swenson@state.mn.us](mailto:Jason.Swenson@state.mn.us) of MnDOT's Water Resources section.

***Permits:***

In addition to the drainage permit mentioned above, any use of, or work within or affecting, MnDOT right of way will require a permit.

Permits can be applied for at this site: <https://olpa.dot.state.mn.us/OLPA/>.

Please direct questions regarding permit requirements to Buck Craig of MnDOT's Metro Permits Section at 651-234-7911 or [Buck.Craig@state.mn.us](mailto:Buck.Craig@state.mn.us).

***Review Submittal Options***

MnDOT's goal is to complete reviews within 30 calendar days. Review materials received electronically can be processed more rapidly. Do not submit files via a cloud service or SharePoint link. In order of preference, review materials may be submitted as:

MnDOT Metropolitan District, Waters Edge Building, 1500 County Road B2 West, Roseville, MN 55113

1. Email documents and plans in PDF format to [metrodevreviews.dot@state.mn.us](mailto:metrodevreviews.dot@state.mn.us). Attachments may not exceed 20 megabytes per email. Documents can be zipped as well. If multiple emails are necessary, number each message.
2. PDF file(s) uploaded to MnDOT's external shared internet workspace site at: <https://mft.dot.state.mn.us>. Contact MnDOT Planning development review staff at [metrodevreviews.dot@state.mn.us](mailto:metrodevreviews.dot@state.mn.us) for uploading instructions, and send an email listing the file name(s) after the document(s) has/have been uploaded.
3. Mailed or hand delivered documents in PDF format on a flash drive or CD-ROM to:  
MnDOT – Metro District Planning Section  
Development Reviews Coordinator  
1500 West County Road B-2  
Roseville, MN 55113
4. Printed documents via mail or hand delivery to the address above. Include one set of full-size plans.

If you have any questions concerning this review, please contact me at (651) 234-7797.

Sincerely,



Cameron Muhic  
Senior Planner

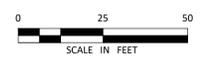
**Copy sent via E-Mail:**

Buck Craig, Permits  
Chris Chatfield, Water Resources  
Molly Kline, Area Engineer  
Almin Ramic, Traffic  
Casey Crisp, Surveys  
Mackenzie Turner Barga, Multimodal  
Jason Junge, Transit  
Russell Owen, Metropolitan Council

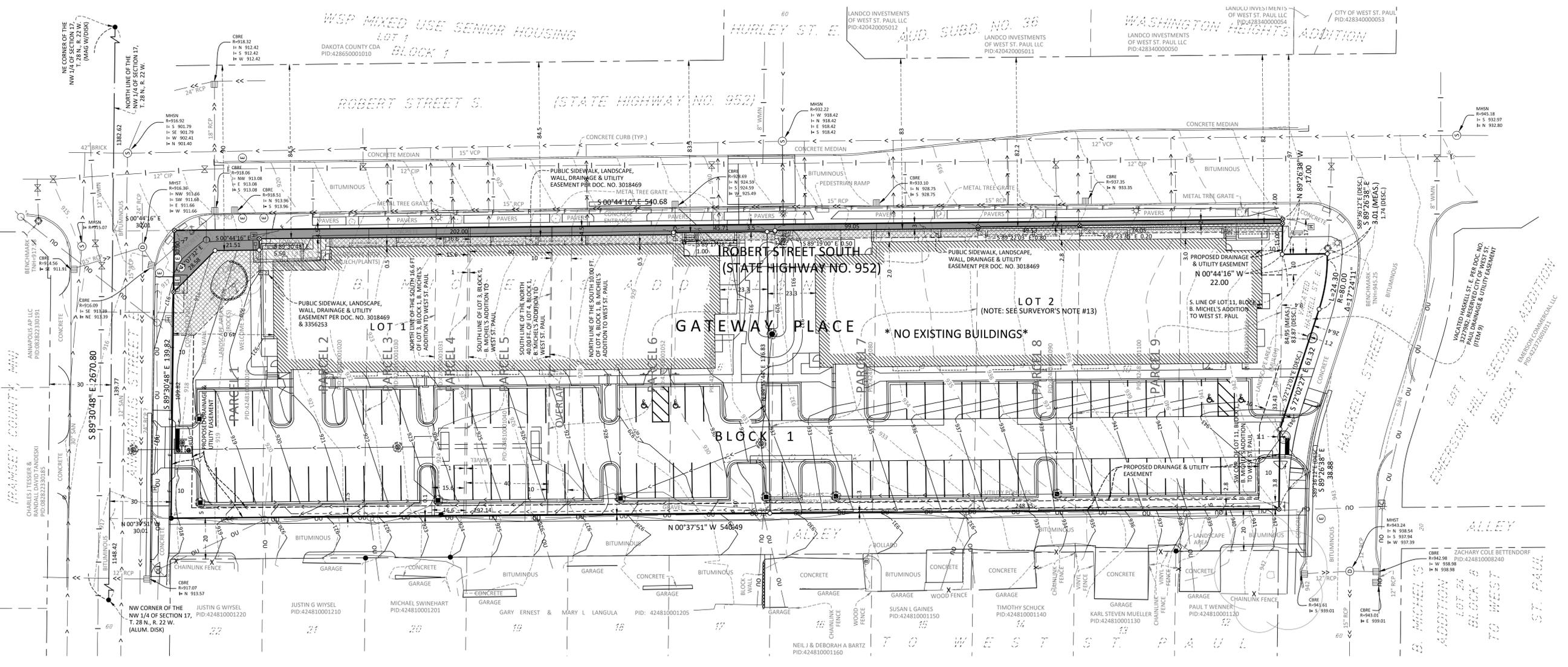
Lance Schowalter, Design  
Jason Swenson, Water Resources  
Mohamoud Mire, Area Coordinator  
Natalie Ries, Noise  
Benjamin Klismith, Right-of-Way  
Jesse Thorsen, Multimodal  
MnDOT ADA Office

# GATEWAY PLACE

## PRELIMINARY PLAT



Horizontal Datum: NAD 83 (1986 Adj.) Hennepin County Coordinate System  
Vertical Datum: Assumed Datum in Feet



LEGEND	
●	1/2" IRON PIPE MONUMENT FOUND UNLESS OTHERWISE NOTED
○	1/2" IRON PIPE MONUMENT TO BE SET & MARKED BY LIC. NO. 46166
○	MAG NAIL W/DISK MONUMENT TO BE SET & MARKED BY LIC. NO. 46166
○	BENCH MARK
○	ANCHOR
○	BENCH
○	CATCH BASIN
○	COMMUNICATION PEDESTAL
○	CURB STOP VALVE WATER
○	ELECTRIC MANHOLE
○	ELECTRIC PEDESTAL
○	HAND HOLE
○	HYDRANT
○	IRRIGATION VALVE BOX
○	LIGHT POLE
○	SANITARY MANHOLE
○	STORM MANHOLE
○	TRAFFIC SIGN
○	TRAFFIC SIGNAL POLE
○	UTILITY POLE
○	DECIDUOUS TREE
○	BUSH
○	WATER VALVE
○	EASEMENT LINE
X	FENCE LINE
F	FIBER UNDERGROUND
G	GAS UNDERGROUND
- - -	INTERMEDIATE CONTOUR
- - -	INDEX CONTOUR
OU	OVERHEAD UTILITY
→	SANITARY SERVICE LINE
→	SANITARY SEWER
→	STORM SEWER
→	WATER SERVICE LINE
→	WATER SYSTEM

**LEGAL DESCRIPTION**

The following were provided in Old Republic National Title Insurance Company, Issued by its Agent, DCA Title, File Number 14-060257 RC, Third Supplemental, Commitment Date: January 3, 2018 at 7:30 a.m. Schedule A.

Parcel 1:  
Lot 1, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 2:  
Lot 2, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 3:  
Lot 3, Block 1, except the South 16.6 feet, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 4:  
The Northerly 15.6 feet of the Southerly 16.6 feet of Lot 3, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 5:  
The South 1 foot of Lot 3, Block 1 and the North 40 feet of Lot 4, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 6:  
The South 10 feet of Lot 4 and all of Lots 5 and 6, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 7:  
Lots 7 and 8, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 8:  
Lot 9, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 9:  
Lots 10 and 11, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Together with  
That part of Haskell Street as dedicated in the plat of B. Michel's Addition, according to the recorded plat thereof, Dakota County, Minnesota described as commencing at the southwest corner of Lot 11, Block 1, said B. Michel's Addition; thence South 89 degrees 36 minutes 12 seconds East, assumed bearing, along the south line of said Lot 11 a distance of 38.88 feet to the actual point of beginning; thence South 72 degrees 12 minutes 01 seconds East a distance of 61.32 feet; thence southeasterly 24.30 feet along a tangential curve concave to the north having a radius of 80.00 feet and a central angle of 17 degrees 24 minutes 11 seconds; thence South 89 degrees 36 minutes 12 seconds East, tangent to said curve, a distance of 1.74 feet to the intersection with the southerly extension of the west line of the East 17.00 feet of said Lot 11; thence Northerly along said southerly extension a distance of 22.00 feet to the south line of said Lot 11; thence westerly along said south line a distance of 88.87 feet to the point of beginning.

Abstract Property.

**UTILITY AND SITE DATA**

**UTILITIES:**  
Underground utility lines and structures are shown in an approximate way only, according to information provided by others. A request that utilities be located for this survey was made through Gopher State One Call (Ticket No. 192613407 & 192613473). The underground utility lines and structures shown on this map represent the information provided to Bolton & Menk, Inc. as a result of that request. The surveyor does not guarantee that the information provided was either complete or accurate. The surveyor does not guarantee that there are no other underground utility lines and structures, active or abandoned, on or adjacent to the subject property.

**ZONING CODE:**  
B-5 - Gateway North Mixed Use District

**Building Setbacks:**  
Front: 10-40 feet  
Rear Minimum: 20 feet  
Side: 0 feet  
Side adjacent to street: 10-30 feet

**Parking Setbacks:**  
Rear: 10 feet  
Side: 10 feet  
Side adjacent to street: 10 feet

**EXISTING AREA:**  
The subject property contains 76,937 sq. ft. (1.766 ac.)  
(Note: 2,302 sq. ft. (0.053 ac.) lies within the Street, Sidewalk, Landscape, Drainage & Utility Easements per Doc. No. 3227985 (Item 8), which is to be dedicated to the public on the final plat)

**PROPOSED AREAS:**  
Lot 1: 29,024 sq. ft. (0.896 ac.)  
Lot 2: 35,611 sq. ft. (0.817 ac.)  
Dedicated Right-of-Way (Street, Sidewalk, Landscape, Drainage & Utility Easements per Doc. No. 3227985 (Item 8): 2,302 sq. ft. (0.053 ac.)

**NOTES CORRESPONDING TO SCHEDULE B EXCEPTIONS**

The following were provided in Old Republic National Title Insurance Company, Issued by its Agent, DCA Title, File Number 14-060257 RC, Loan No. Revision No. 4, Commitment Date: March 22, 2020 at 7:30 a.m. Schedule B - Section II Exceptions. The items referenced are followed by comments made by Bolton & Menk, Inc. addressing the item and are referenced on survey map by item number.

Items, 1 & 2 and 11-14, Schedule B - Section II Exceptions are not addressed on this survey.

**Item 3:** Agreement for the Conveyance of Vacated Right-of-Way date June 2, 2014 and recorded July 7, 2014 as Document No. 3018468. - The City of West St. Paul vacated part of the Haskell Street right-of-way per Document No. 3227982, recorded on December 14, 2017. The City conveyed the same vacated part of Haskell Street per Document No. 3227982 to the Dakota County Community Development Agency per Quit Claim Deed Document No. 3227983, recorded on December 14, 2017. Said vacated part of Haskell Street per Document No. 3227982 differs from the proposed vacation of Haskell Street right-of-way as depicted in "Exhibit E" per said Document No. 3018468. It is unknown to Bolton & Menk, Inc. why there is a difference. It appears the final vacation is per Document No. 3227982, therefore the proposed vacation of Haskell Street right-of-way as depicted in "Exhibit E" per said Document No. 3018468 is not shown.

- Permanent easement descriptions per said Document No. 3018468 are the same permanent easements descriptions conveyed per Doc. No. 3018469, which are graphically shown on this survey map.

- Temporary easements per Document No. 3018468 are not graphically shown on this survey map.

**Item 4:** Permanent Easement and Temporary Construction Easement dated June 2, 2014 and recorded July 7, 2014 as Document No. 3018469. - Said Permanent Easement(s) are graphically shown on this survey map. - Said Temporary Easement(s) are not graphically shown on this survey map.

**Item 6:** Temporary and Permanent Easements as shown in First Amended Findings of Fact, Conclusions of Law and Order Approving Petition and Transfer of Title and Possession recorded June 30, 2016 as Document No. 3135753. - It is unknown to Bolton & Menk, Inc. if said Temporary and Permanent Easements vest in the City of West St. Paul (Note: See number 28 under the ORDER within said Document). It is recommended that said Document be reviewed by an attorney or other title professional.

**Item 7:** Permanent Easement recorded as Document No. 3227984. - Said easements are graphically shown on this survey map.

**Item 8:** Permanent Easement recorded as Document No. 3227985. - Said easements are graphically shown on this survey map.

**Item 9:** Resolution vacating Street and reserving Easements recorded as Document No. 3227982. - Said vacated street (Haskell Street) is graphically shown on this survey map. City reserves, unto itself and other utility providers, a permanent easement for drainage and utility purposes, over, across, under and through said vacated street area. (Note: See Doc. No. 3227982 for specific details, rights, etc.) - Said vacated portion of Haskell Street per Doc. No. 3227982 was conveyed to Dakota County Community Development Agency per Quit Claim Deed Doc. No. 3227983.

**Item 10:** Final Certificate recorded as Document No. 3356253. - Easements described in said Final Certificate are graphically shown on this survey map.

**SURVEYOR'S NOTES**

- Orientation of the bearing system is based upon the north line of the Northwest Quarter of Section 17, Township 28 North, Range 22 West, Dakota County, Minnesota, which is assumed to bear South 89 degrees 30 minutes 48 seconds East.
- The vertical datum is based upon the top nut of a hydrant (TNH) located in the northwest quadrant of Robert Street South and Haskell Street E. TNH Elevation = 945.25 feet.
- Bolton & Menk, Inc. did not determine ownership of adjacent land.
- The exterior building lines shown are of the building footprint as measured at ground level. The building foundation, which is not visible, may extend beyond the exterior building lines shown.
- Subject property has constructed vehicular and pedestrian ingress and egress to/from Robert Street S. and public alley; and pedestrian ingress and egress to/from Annapolis Street and Haskell Street.
- Bolton & Menk, Inc. did not observe evidence of current earth moving work, building construction or building additions.
- Bolton & Menk, Inc. did not observe evidence of site use as a solid waste dump, sump or sanitary landfill.
- The overlapping of the property descriptions for Parcels 5 and 6 results, primarily, from the width of Lot 4 being found to be less than is indicated on the plat.
- Only those easement documents contained in Old Republic National Title Insurance Company, Issued by its Agent, DCA Title, File Number 14-060257 RC, Loan No. Revision No. 4, Commitment Date: March 22, 2020 at 7:30 a.m. Schedule B - Section II Exceptions, together with other easement documents, if any, provided to Bolton & Menk, Inc. by Dakota County Community Development Agency (Client) are graphically shown and/or are referenced on this survey map.
- The size and type of sanitary and water services servicing the east side of the subject property is unknown to Bolton & Menk, Inc. The location of said services as graphically shown are approximate based on record drawings provided to Bolton & Menk, Inc. from the City of West St. Paul.
- Existing conditions are shown per previous Certificate of Survey prepared by Bolton & Menk, Inc. dated September 27, 2019 for Dakota County Community Development Agency. Field work was completed on September 26, 2019.
- Proposed site, utility, grading, etc. improvements are graphically shown per information provided to Bolton & Menk, Inc. by LHB, Inc. For details, refer to approved site plans prepared by LHB, Inc. Phase 1 is located on proposed Lot 1. Phase 2 is located on proposed Lot 2. It is Bolton & Menk, Inc.'s understanding that Phase 1 has been fully approved. Proposed improvements graphically shown on said Phase 2 are subject to future change.

	PUBLIC SIDEWALK, LANDSCAPE, WALL, DRAINAGE AND UTILITY EASEMENTS PER DOC. NO. 3135753 & 3356253 (ITEM 6 & 10)
	PUBLIC SIDEWALK, LANDSCAPE, WALL, DRAINAGE AND UTILITY EASEMENTS PER DOC. NO. 3227984 (ITEM 7 & 10)
	STREET, SIDEWALK, LANDSCAPE, DRAINAGE AND UTILITY EASEMENTS PER DOC. NO. 3227985 (ITEM 8)
	PUBLIC SIDEWALK, LANDSCAPE, WALL, DRAINAGE AND UTILITY EASEMENTS PER DOC. NO. 3227985 (ITEM 9)

**SURVEYOR'S CERTIFICATION**

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

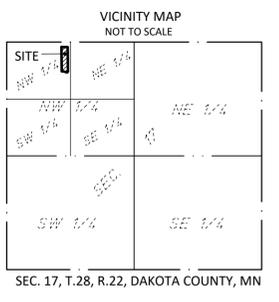
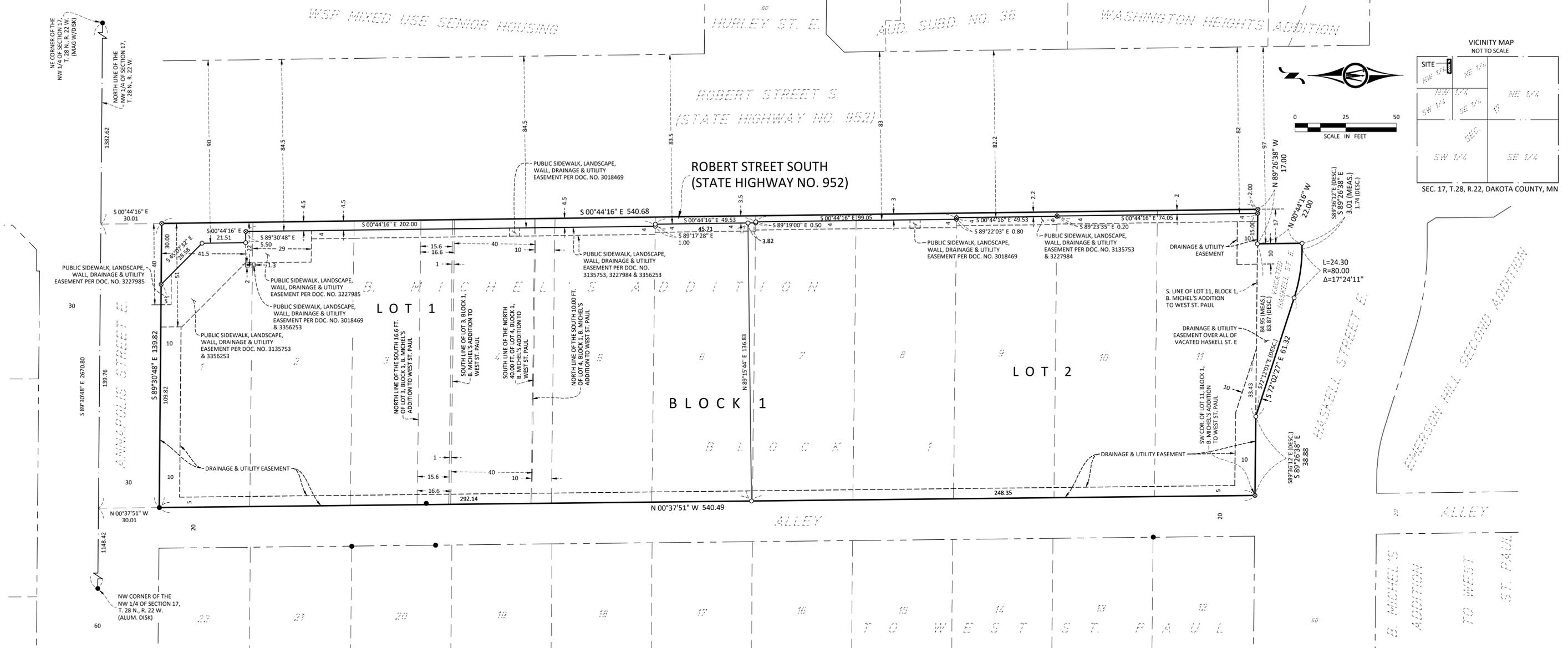
Eric R. Willfahrt  
License Number 46166

6/26/2020  
Date

REVISED: PROPOSED IMPROVEMENTS, NOTES, LOTS, AREAS & EASEMENT 6/26/2020

<b>GATEWAY PLACE PRELIMINARY PLAT</b> 895 ROBERT STREET WEST ST. PAUL, MN	 <b>BOLTON &amp; MENK</b> 12224 NICOLLET AVENUE BURNSVILLE, MINNESOTA 55337 (952) 890-0509	<b>OWNER/SUBDIVIDER</b> Dakota County CDA 1228 Town Centre Drive Eagan, MN 55123
<b>DESIGNER/ARCHITECT</b> LHB, Inc. Corp 701 Washington Avenue North, Suite 200, Minneapolis, MN 55401		<b>SURVEYOR</b> Bolton & Menk, Inc. 12224 Nicollet Avenue Burnsville, MN 55337-1649
FOR: DAKOTA COUNTY COMMUNITY DEVELOPMENT AGENCY		

# GATEWAY PLACE



KNOW ALL PERSONS BY THESE PRESENTS: That Dakota County Community Development Agency, a public body corporate and politic, owner of the following described property situated in the County of Dakota, State of Minnesota:

Parcel 1:  
Lot 1, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 2:  
Lot 2, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 3:  
Lot 3, Block 1, except the South 16.6 feet, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 4:  
The Northerly 15.6 feet of the Southerly 16.6 feet of Lot 3, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 5:  
The South 1 foot of Lot 3, Block 1 and the North 40 feet of Lot 4, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 6:  
The South 10 feet of Lot 4 and all of Lots 5 and 6, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 7:  
Lots 7 and 8, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 8:  
Lot 9, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Parcel 9:  
Lots 10 and 11, Block 1, B. Michel's Addition to West St. Paul, according to the recorded plat thereof and situate in Dakota County, Minnesota.

Together with  
That part of Haskell Street as dedicated in the plat of B. Michel's Addition, according to the recorded plat thereof, Dakota County, Minnesota described as commencing at the southwest corner of Lot 11, Block 1, said B. Michel's Addition; thence South 89 degrees 36 minutes 12 seconds East, assumed bearing, along the south line of said Lot 11 a distance of 38.88 feet to the actual point of beginning; thence South 72 degrees 12 minutes 01 seconds East a distance of 61.32 feet; thence southeasterly 24.30 feet along a tangential curve concave to the north having a radius of 80.00 feet and a central angle of 17 degrees 24 minutes 11 seconds; thence South 89 degrees 36 minutes 12 seconds East, tangent to said curve, a distance of 1.74 feet to the intersection with the southerly extension of the west line of the East 17.00 feet of said Lot 11; thence Northerly along said southerly extension a distance of 22.00 feet to the south line of said Lot 11; thence westerly along said south line a distance of 83.87 feet to the point of beginning.

Abstract Property.

Has caused the same to be surveyed and platted as GATEWAY PLACE and does hereby dedicate to the public for public use the public way and drainage and utility easements as created by this plat.

In witness whereof said Dakota County Community Development Agency, has caused these presents to be signed by its proper officers this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Dakota County Community Development Agency  
By: \_\_\_\_\_, its Executive Director

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_, its Executive Director of Dakota County Community Development Agency, a public body corporate and politic, organized under the laws of the State of Minnesota.

By: \_\_\_\_\_  
Printed Name: \_\_\_\_\_  
Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires: \_\_\_\_\_

SURVEYOR'S CERTIFICATE

I, Eric R. Wilfahrt, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, section 505.01 Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Eric R. Wilfahrt, Licensed Land Surveyor  
Minnesota License No. 46166

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This foregoing instrument was acknowledged before me on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by Eric R. Wilfahrt, Licensed Land Surveyor.

By: \_\_\_\_\_  
Printed Name: \_\_\_\_\_  
Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires: \_\_\_\_\_

CITY COUNCIL, CITY OF WEST ST. PAUL, STATE OF MINNESOTA

This plat of GATEWAY PLACE was approved and accepted by the City Council of the City of West St. Paul, Minnesota at a regular meeting thereof held this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subs. 2.

City Council, City of West St. Paul, Minnesota  
By: \_\_\_\_\_, Mayor  
By: \_\_\_\_\_, Clerk

COUNTY SURVEYOR, COUNTY OF DAKOTA, STATE OF MINNESOTA

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

By: \_\_\_\_\_  
Todd B. Tollefson, Dakota County Surveyor

DEPARTMENT OF PROPERTY TAXATION AND RECORDS, COUNTY OF DAKOTA, STATE OF MINNESOTA

Pursuant to Minnesota Statutes, Section 505.021, Subd 9, taxes payable in the year 20\_\_\_\_ on the land hereinbefore described have been paid. Also pursuant to Minnesota statutes, Section 272.12, there are no delinquent taxes and transfers entered this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

By: \_\_\_\_\_  
Amy A. Koethe, Director, Department of Property Taxation and Records

COUNTY RECORDER, COUNTY OF DAKOTA, STATE OF MINNESOTA

I hereby certify that this plat of GATEWAY PLACE was filed in the office of the County Recorder for public record on \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ at \_\_\_\_ o'clock \_\_\_\_ M., and was duly filed in Book \_\_\_\_ of Plats, Page \_\_\_\_ as Document Number \_\_\_\_.

By: \_\_\_\_\_  
Amy K. Koethe, County Recorder

Orientation of the bearing system is based upon the north line of the Northwest Quarter of Section 17, Township 28 North, Range 22 West, Dakota County, Minnesota, which is assumed to bear South 89 degrees 30 minutes 48 seconds East.

LEGEND

- 1/2" IRON PIPE MONUMENT FOUND UNLESS OTHERWISE NOTED
- 1/2" IRON PIPE MONUMENT SET & CAPPED BY MINNESOTA LICENSE NO. 41466
- ⊗ MAG NAIL W/DISK MONUMENT SET & MARKED BY MINNESOTA LICENSE NO. 41466

THIS PLAT PREPARED BY BOLTON & MENK, INC.

To: **Planning Commission**  
From: **Melissa Sonnek, City Planner**  
Date: **July 21, 2020**

**CUP, Site Plan, Rezoning, and Plat for 1201 Robert St #50 and 100 Signal Hills Ave**

**REQUEST:**

Dominium Development and Acquisitions is requesting the review of multiple applications for the redevelopment of the K-Mart and Signal Bank on the northern portion of the Signal Hills mall campus. The proposed redevelopment includes two apartment buildings, one senior (55+ age restriction) building and one family (non-age restricted) building totaling to 393 units.

Applications for Review:

- Conditional Use Permit – Structures above 35ft in height & Structures with 16+ dwelling units
- Site Plan – Construction of two apartment buildings (senior – 247 units and family 146 units)
- Rezoning from B4 – Shopping Center to PMD – Planned Mixed-Use Development, with R4- Multi-Family Residential and B4 – Shopping Center underlying zoning
- Preliminary and Final Plat – creation of three lots, dedicated right of way and easements

***Attachments:***

*Applications/narrative/notice*

*Memos from Environmental Comm., WSP and WSB Engineering, Dakota Co, Plat Commission, and MnDot Traffic study and submitted plans*



**CURRENT USES AND ZONING:**

	<b>Use</b>	<b>Zoning</b>
<b>Subject Property</b>	Big Box Retail & Bank	B4 – Shopping Center
<b>Properties to North</b>	Single Family Homes	R1 Single Family
<b>Properties to East</b>	Condos & Retail/Auto	R4 – Multi Family & B3- Gen. Business
<b>Properties to South</b>	Signal Hills Shopping Mall	B4 – Shopping Center
<b>Properties to West</b>	Single Family Homes	R1 - Single Family

**Proposal**

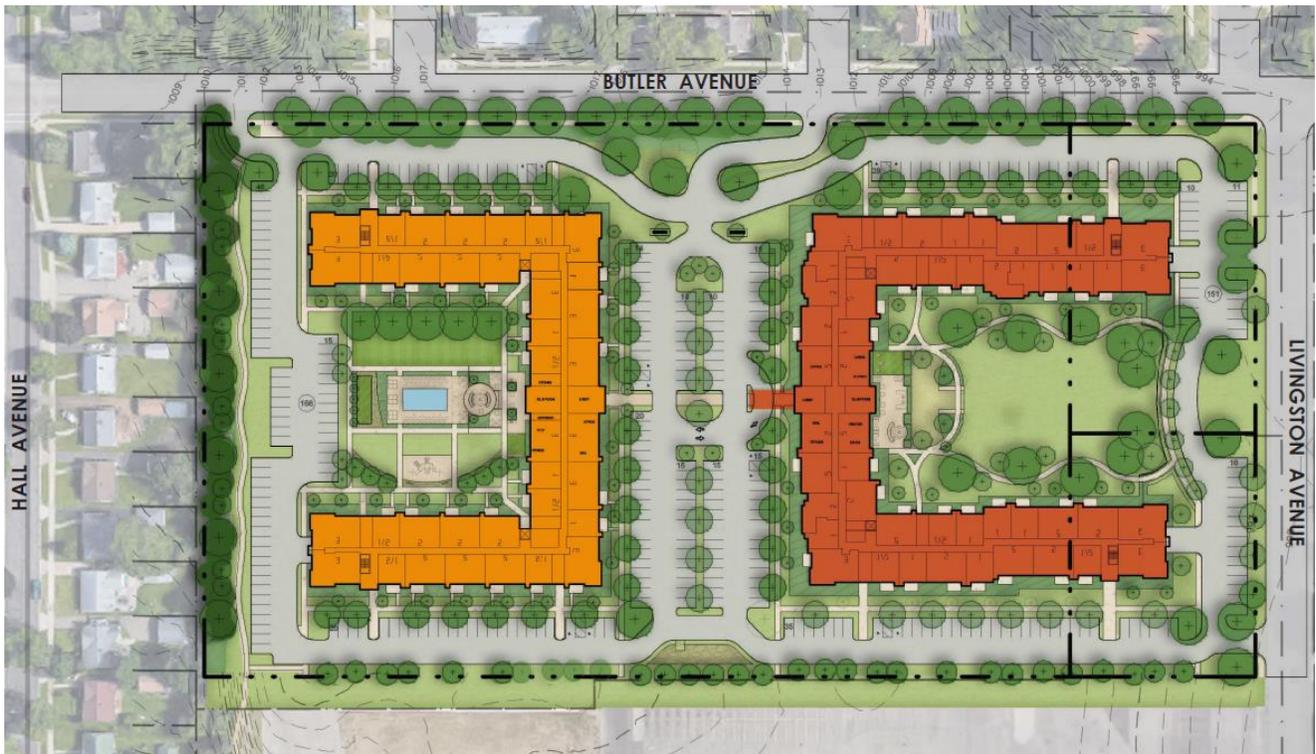
The proposal includes the demolition of the existing K-Mart and Signal Bank buildings, for two apartment buildings totaling to 393 units.

*Family Building*

The western four-story building will contain 146 units that would be non-age restricted. This building would be a mix of one, two, and three bedroom units, offering 293 (166 surface & 127 underground) parking stalls (2:1 parking ratio). The western building will contain amenities such as a community/party room with a kitchen, an indoor children play room, a fitness center, an outdoor patio with seating, a pool, a bocce ball/bags court, shared dog park, and outdoor playground.

*Senior Building*

The eastern five-story building will contain 247 units that will be restricted to ages 55+. This building will also be a mix of one, two, and three bedroom units with a total of 301 (151 surface stalls & 150 underground) parking stalls (1.22:1 parking ratio). The senior building will contain similar indoor amenities such as the communal party room and fitness center, but instead of a child play area, it will have a salon, card playing/craft room, movie theater, and salon. The outdoor area will have a smaller court yard area more suitable for walking and bench seating as well as a shared dog park.

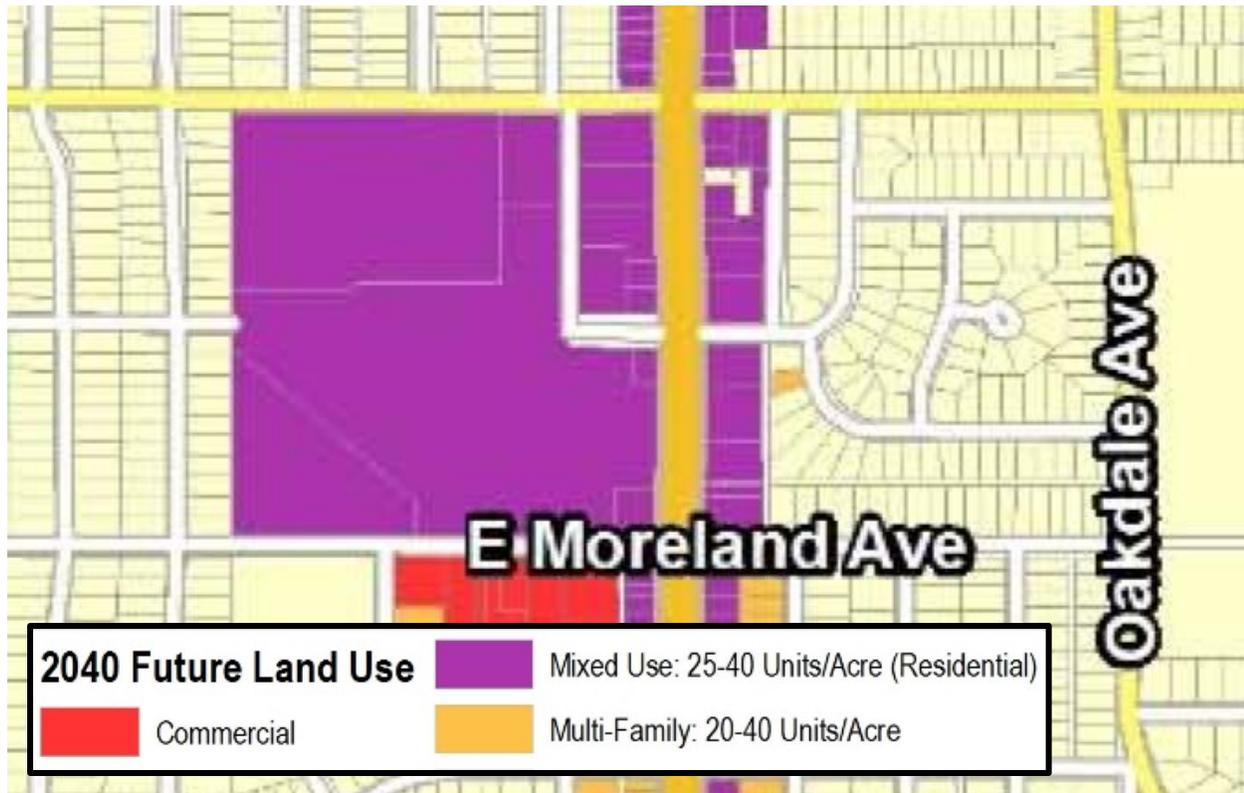


## 1) CONDITIONAL USE PERMIT ANALYSIS:

Within the R4 – Multi-family Residential district, both buildings measuring higher than 35 ft. and containing 16+ units are conditional uses.

### Long Term Planning Document Review

The 2040 Comprehensive plan designated the Signal Hills area to likely redevelop by 2030 as mixed use with 20-40 units per acre (see image below – Pg. 13 of 2040 Comp Plan). As this project proposes roughly 35 units per acre, both density and use align with the 2040 Comprehensive Plan.



### Multi-Family Demand

According to the recently completed (March 2020) Housing Study for Dakota County, affordable housing remains increasingly difficult to find. Despite the development of 3,900 new rental units throughout the County between 2014 and 2018, the waitlist for affordable housing units in 2019 contained over 1,400 names and vacancy rates remain around 1.8% (5% is considered a healthy market).

### Proximity to Amenities

This site offers close proximity to several retail and restaurant options within walking distance, as well as multiple bus routes along Butler, Livingston, and Robert St.

## 2) SITE PLAN ANALYSIS:

### Setbacks

#### Building

The proposed site plan complies with all building setbacks as detailed by the code.

	Code Setbacks	Proposed Setbacks Family (west) Building	Proposed Setbacks Senior (east) Building
<b>Front</b> <i>(Butler Ave)</i>	50/53 ft. 50 +1 ft./each ft. over 50ft.	75 ft.	75 ft.
<b>Rear</b>	40/41.5 ft. 40 +1/2 ft./each ft. over 50ft.	50 ft.	70 ft.
<b>Side</b> <i>Abutting Corner</i>	40/41.5 ft. 40 +1/2 ft./each ft. over 50ft.	N/A	85 ft.
<b>Side (West)</b> <i>Abutting Residential</i>	40/41.5 ft. 40 +1/2 ft./each ft. over 50ft.	50 ft.	N/A

#### Parking

The proposed site plan complies with parking setbacks as detailed by the code, unless noted by the \*.

	Code Setbacks	Proposed Setbacks Family (west) Building	Proposed Setbacks Senior (east) Building
<b>Front</b> <i>(Butler Ave)</i>	20 ft.	12 ft.*	10 ft.*
<b>Rear</b>	10 ft.	12 ft.	10 ft.
<b>Side</b> <i>Abutting Corner</i>	20 ft.	N/A	2.3 ft.*
<b>Side (West)</b> <i>Abutting Residential</i>	20 ft.	50 ft.	N/A

\*Note – parking setbacks were increased to allow for full drive aisle width and parking stall depths.

### Parking Counts

#### Family Building

Both buildings will offer both surface and underground parking options. The family building (west) will offer a total of 293 parking stalls, 127 underground and 166 surface stalls. Code requires a 2:1 parking ratio, meaning two parking stalls for each unit. This site is actually exceeding the code requirements, calculating to just over 2 stalls per unit.

#### Senior Building

The senior building (east) will offer a total of 301 stalls, 150 underground and 151 surface stalls. This site falls below the 2:1 parking requirement; however, it is typical to see lower parking counts for senior apartments. This in combination with the fact that there are several public transit options close to this site, allows the site to function appropriately with a lower parking count.

For example, the Dakota (900 Robert St.) has roughly the same parking ratio 1.20:1. The Winslow (Darts – 1631 Marthaler Ln) has a ratio of 1.4:1. Both of these are affordable independent senior projects that have been approved.

### Drive Aisle and Parking Stall Dimensions

Drive aisles and parking stall widths are consistent with code requirements throughout the site. Similarly, the majority of the site's parking stall depths comply with the code minimum of 20 ft. With the exception of the two parking rows in the center of the site, these two rows measure 18ft in depth.

The City has previously approved parking stalls with a 18ft depth as the average car today compared to when the code was written has become much smaller.

**Curbing**

The existing parking lot includes B612 curbing as required by code.

**Traffic Study**

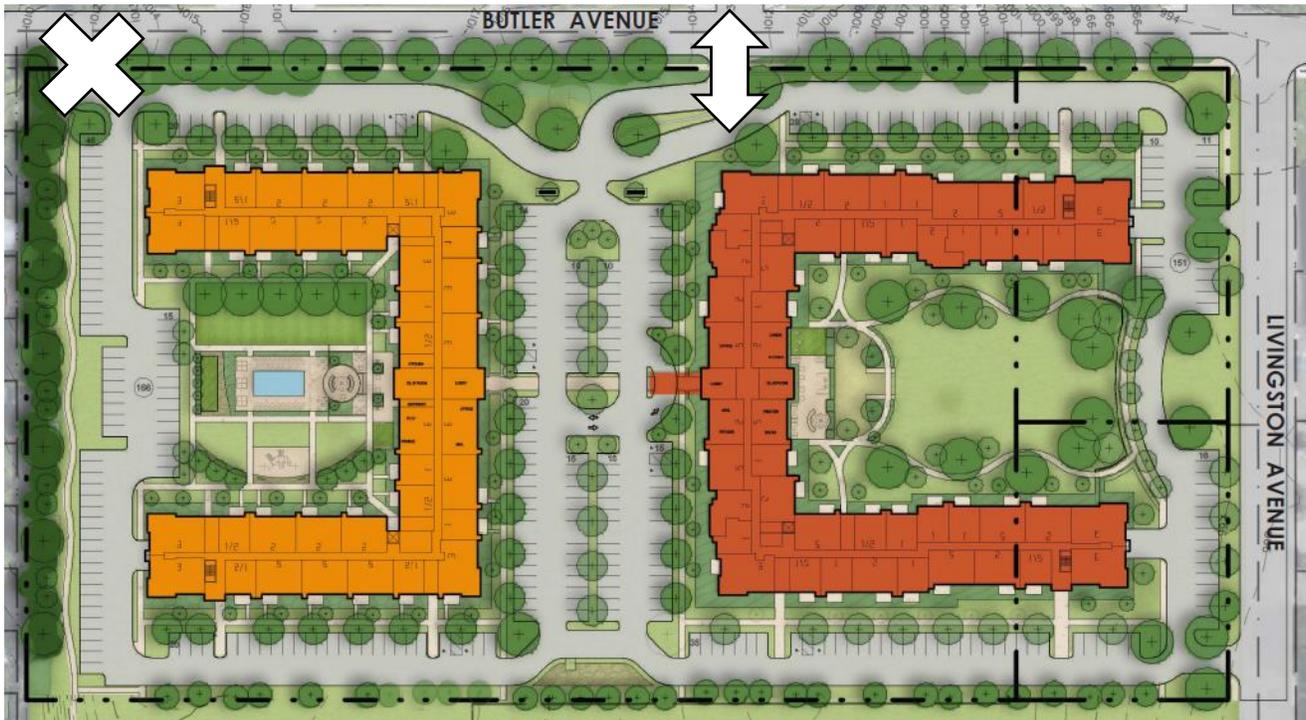
Due to the change in use and to ensure the success of the project, the applicant conducted a traffic study in the fall of 2019. In short, the traffic study concluded that for this setting, the multi-family residential use would create less traffic than a big box retail store (K-Mart) would (see table below for data specifics for this site).

	Daily Trips (Entering)	Daily Trips (Exiting)	Total Trips
<b>Existing Use</b> (Big Box Retail)	2,358	2,358	4,716
<b>Proposed Use</b> (Multi-Family Res.)	695	695	1,390
<b>Change in Trips Generated</b>	-1,663	-1,663	-3,326

As a relevant and recent example, the approved HyVee store is expected to average 9,600 trips on a daily basis (as detailed in the Town-Center-Two traffic study).

**Site Access – Butler Avenue**

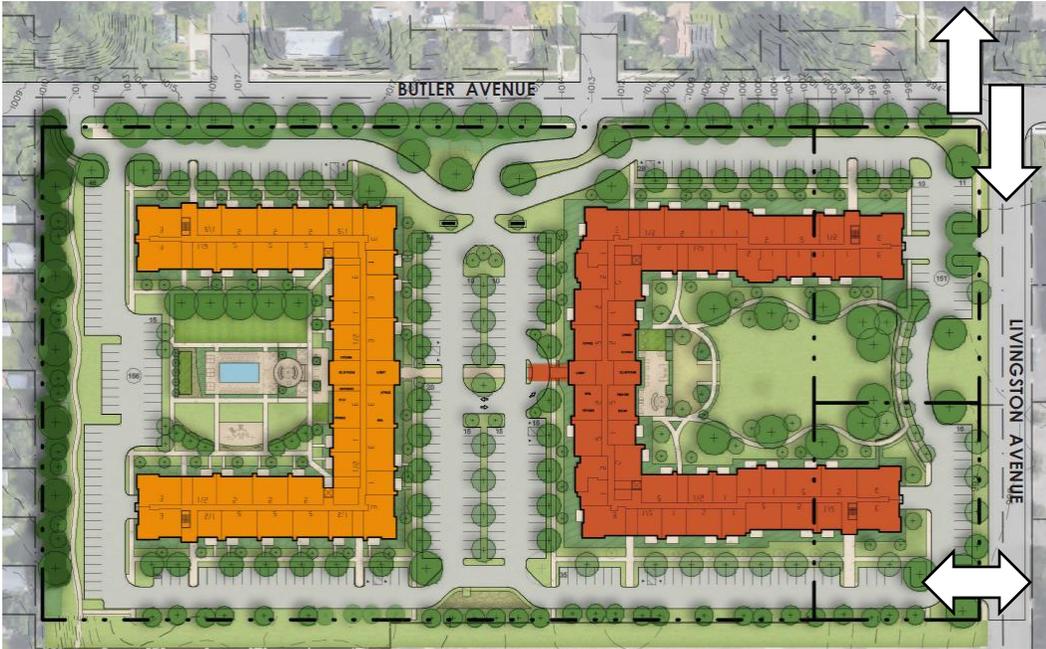
The existing site west access behind the K-Mart building was requested by Dakota County to be closed, to decrease the number of curb cuts and the amount of potential intersection conflict. The primary access to the site from Butler Avenue will be just south of where Gorman Avenue intersects with Butler.



### Site Access – Livingston Avenue

An additional access for the site will be on the southeastern portion of the site off Livingston Ave.

As a part of the site plan review, both Dakota County and the City would like to recommend that the applicant alter the site to allow for a re-alignment of the Livingston intersection to a proper “t” rather than an off-set intersection.



### Pedestrian/Sidewalk Connectivity

As can be seen in the image below (*in blue*), there are several existing sidewalk and public transit options around the site. However, with Butler Ave. being a county road, both the county and the city request that the applicant expand the existing 4ft sidewalk to an 8ft wide trail (see WSP Engineering memo).



## Internal Site Connectivity

As can be seen in the image below (*in purple*), there are a lot of connections throughout the site to offer both recreational and transportation options.



## Lighting

The submitted lighting plans do show a minimal amount of lighting at varying property lines. As this is not permitted by code, City Staff is requiring as a condition of approval that all lighting levels must not exceed zero foot-candles at all abutting property lines, and no direct glare may extend into the public street, public open space, or neighboring properties.

## Landscaping and Screening

Setback areas, in part, are to be used as a buffer. Landscaping is a large factor in screening. The code outlines that there is to be one tree per every 40 lineal feet of property line. For this site as a whole, this roughly calculates to 99 trees; the applicant is proposing a total of 151 deciduous trees as well as 35 coniferous trees, 136 ornamental trees, 1,293 shrubs, and 935 perennials/annuals.

Additionally, when redevelopment and tree removal occurs the code requires a minimum of 30% replacement of the quality trees removed. The applicant is proposing to remove approximately 229 caliper inches of quality trees, which with the 30% replacement requirement, the applicant is required to replant 69 caliper inches (roughly 28 trees if measuring at 2.5 caliper inches). As detailed above, the proposed landscaping exceeds the minimum code requirements.

### *Screening for Residential Property*

The code requires screening for all property lines adjacent to single-family properties. The subject property directly abuts single-family homes to the west. The west property line currently contains mature trees that are detailed on the submitted plans to be maintained, the property line also contains various sections of retaining wall. Therefore, City Staff is recommending as a condition of approval that any/all screening must comply with section 153.032 (E)4.

During the neighborhood meeting, it was voiced by the adjacent neighbors there were in attendance would prefer a fence to assist in the screening between properties. The code allows for either fencing or

landscaping. If a fence is determined to be the preferred option, the code details that all fencing north of the front building façade shall be no higher than 4 ft., all fencing south of the front building façade shall be 6 ft. in height.

### **Irrigation**

The landscape plan states that an irrigation will be provided as required by code by the contractor. Staff is recommending a condition of approval requiring an irrigation plan upon application of a building permit.

### **Environmental Committee Review**

The Environmental Committee held an informal review of the proposed landscape plan as they were unable to hold a regular meeting due to a lack of quorum. Detailed comments can be found in the attached memo.

The committee members were generally pleased with the proposal and are recommending approval of the plans with following additions:

- Strongly encourage the developer to use “pollinator friendly” native plants that are not treated with “neonicotinoids”,
- Consider the addition of a green roof to treat stormwater onsite, and
- Encourage that all exterior lighting is Dark Sky compliant.

Staff is recommending as a condition of approval that the applicant consider to the additions and recommendations of the Environmental Committee per the memo dated July 15, 2020.

### **Construction Materials/Design**

Section 153.031 of the zoning code, which outlines residential site plan requirements, does not detail specific building materials or design standards as is outlined for commercial buildings. However, the code does require that exterior building materials be comprised of siding, stucco, brick, glass, or other comparable material. The applicant is proposing a combination of brick, decorative concrete masonry units, glass, lap and panel siding. The submitted plans state that all lap and panel siding are to be field painted. Since the code does not allow the application of color post production, City staff is recommending as a condition of approval that all siding be factory painted rather than field painted.



Rendering of Senior Building as presented to EDA Board on 07/13/2020

## **Signage**

The proposed plans do not include signage at this time. Staff is recommending a condition of approval requiring that all signage meet the requirements of Section 153 of the Zoning Ordinance.

## **Engineering/Storm water Review**

The site plan was reviewed by an engineering consultant to specifically review storm water run-off and the proposed underground stormwater retention system.

The engineering consultant listed a number of recommendations regarding obtaining proper permits as well as items to address prior to permitting. City Staff is requiring as a condition of approval, that the applicant adhere to/address all items outlined in the WSB Engineering Memo dated July 14, 2020.

## **3) REZONING:**

The subject property is currently zoned B4 – Shopping Center. The applicant is requesting to rezone the property from B4 – Shopping Center to PMD – Planned Mixed-Use Development, with R4 – Multi-family Residential (apartment portion of site) and B4 – Shopping Center (Signal Hills Mall portion of site) as underlying uses. Note that the Signal Hills mall portion of the property is not presently being redeveloped, but is included in the plat and rezoning applications.

The recently adopted 2040 Comprehensive Plan Update designates the subject property as “Mixed-use” which allows for both commercial and multi-family residential development. In addition, the Comprehensive Plan specifically calls out the Signal Hills property as a “Likely Redevelopment Area” by 2030 and suggests denser residential development (20-40 units per acre) for the property to meet Met Council 2040 housing unit growth projections. Therefore, the request to rezone the property to PMD complies with the Comprehensive Plan.

## **4) PLAT ANALYSIS:**

Since the subject property is currently unplatted, the City is requiring that the applicant plat the entire property as a part of the redevelopment project. As stated in the rezoning section, the Signal Hills mall portion of the property is not presently being redeveloped, but is included in the plat and rezoning applications.

The entire Signal Hills property, including the mall, the K-Mart building, and the Signal Bank building totals to roughly 29 acres and contains several different lots. The platting process will clean up the site’s legal description and formally designate three separate lots, one for each apartment building and one for the mall site. City Staff is recommending as a condition of approval that the plat be recorded at the County within one year of approval and prior to the submittal of a building permit.

## **WSP Engineering Review**

The West St. Paul Engineering Department reviewed the submitted plats and requested the following (see memo dated July 9, 2020):

1. Request that the applicant realign Livingston Avenue along the northeast NE corner of the property, to square up the Livingston and Butler intersection,
2. Request an 8ft wide trail along Butler Avenue as well as a 5ft wide sidewalk along Livingston, as is outlined in the West St. Paul Pedestrian & Bicycle Plan, and
3. Request a minimum of 10ft wide utility and drainage easements along property lines that abut public streets and 5ft easements for interior property lines.

City Staff is recommending as a condition of approval that the applicant adhere to the items outlined in the West St. Paul Engineering memo, dated July 9, 2020.

### **Dakota County Plat Commission**

The Dakota County Plat Commission reviewed the proposed preliminary plat at their meeting on July 8<sup>th</sup>, 2020 and recommended approval of the preliminary plat subject to the following (see memo dated July 9, 2020):

1. Due to inadequate access spacing, the Commission will only allow for one access on Butler Ave. as detailed in the meeting as the Gorman Ave. access,
2. Require 40ft of right-of-way dedication, proposed plans detail 30ft,
3. Highly recommend an 8ft wide trail along Butler Ave. as outline in the Dakota County Pedestrian and Bike Trail Plan,
4. Recommend the realignment of the southern portion of Livingston Ave. with the northern portion to increase the overall safety of traffic movements at the intersections.

### **MNDOT Review**

Since Robert St. is a state road, MnDot reviewed the proposed plat. The review makes note of several items such as noise along state highways, multimodal and transit connections, water and drainage requirements and permitting process. City Staff is recommending as a condition of approval that the applicant address the items outlined in the MnDot memo dated July 15, 2020.

### **STAFF RECOMMENDATION:**

**Staff recommends APPROVAL of the CONDITIONAL USE PERMIT to allow structures above 35 ft. in height and structures with 16+ dwelling units in a R4 – Multiple Family Residential District subject to the following condition:**

1. Council approval of the corresponding site plan, rezoning, and plat applications.

**Staff recommends APPROVAL of the SITE PLAN to allow for the construction of two apartment buildings at 1201 Robert St. #50 and 100 Signal Hills Ave. subject to the submitted plans and the following conditions:**

1. Council approval of the corresponding conditional use permit, rezoning and plat applications,
2. The applicant shall apply for and obtain all applicable building and sign permits,
3. The applicant shall ensure that all lighting levels will not exceed zero foot candles at all abutting property lines, and no direct glare shall extend into the public street, public open space, or neighboring properties,
4. The applicant shall ensure that any/all screening complies with section 153.032 (E)4 of the zoning ordinance,
5. The applicant shall ensure that an irrigation plan is submitted upon application of a building permit,
6. The applicant shall ensure that all siding be factory painted rather than field painted,
7. All signage must comply with section 153 of the zoning ordinance,

8. The applicant shall consider the recommendations of the Environmental Committee per the attached memo dated July 15, 2020,
9. The applicant shall consider the recommendations outlined in the West St. Paul Engineering memo dated July 9, 2020,
10. The applicant shall adhere to/address all items outlined in the WSB Engineering memo dated July 14, 2020,
11. The applicant shall adhere to the items outlined in the Dakota County Plat Commission memo dated July 9, 2020, and
12. The applicant shall address the items outlined in the MnDot memo dated July 15, 2020.

**Staff recommends APPROVAL of the REZONING of 1201 Robert St. and 100 Signal Hills Ave. from B4 – Shopping Center to PMD, Planned Mixed-Use Development with R4 – Multi-Family and B4 – Shopping Center underlying zoning subject to the following condition:**

1. Council approval of the corresponding Conditional Use Permit, Site Plan, and Plat applications.

**Staff recommends APPROVAL of the PRELIMINARY/FINAL PLAT for 1201 Robert St. and 100 Signal Hills Ave. subject to the submitted plat drawings and the following conditions:**

1. Council approval of the corresponding conditional use permit, site plan, and rezoning applications,
2. The applicant shall revise the final plat per the recommendations outlined in the attached memos from the West St. Paul Engineering, Dakota County Plat Commission and MnDot,
3. Upon submittal of the final plat, the applicant shall include 10 foot drainage/utility easements along the property lines that abut a roadway, and a 5 foot drainage/utility easement along property lines that abut another lot, and
4. The final plat shall be recorded within one year of approval and prior to application of a building permit.



City Hall  
 1616 Humboldt Avenue  
 West St. Paul, MN 55118  
 651-552-4100  
 FAX 651-552-4190  
[www.wspmn.gov](http://www.wspmn.gov)

## SITE PLAN APPLICATION

Filing Fee: \$275.00  
 Escrow Amount: \$1,300.00  
 Total Fees: \$ 1,575

OFFICE USE ONLY	
Case No:	<u>20-07</u>
Date Received:	<u>06/26/2020</u>
Receipt No:	<u>2020-0882</u>
60 Day Date:	<u>08/25/2020</u>

Street Address of Parcel: 50 Signal Hills Center West St. Paul, MN 55118

Name of Applicant: Dominium Development and Acquisitions, LLC  
 Address of Applicant: 2905 Northwest Blvd  
Suite 150 Plymouth, MN 55441

Phone # 763-354-5638  
 Email: nandersen@dominiuminc.com

Name of Owner: RPS Legacy Desoto, LLC  
 Address of Owner: 2935 County Drive, Suite 100

Phone # 651-587-4070  
 Email: david@rpslegacy.com

### SITE INFORMATION

Legal/PID # of the Property Involved: 420170055060, 420170055051 & 420170050012

Present Zoning: B-4 Shopping Center

Proposed Use of Parcel: The proposed use is for 393 units of Family and Senior Housing

What will be the effect(s) on existing and anticipated traffic conditions, including parking facilities on adjacent streets: The proposed use will have enough parking so all residents will be able to park on site.  
A traffic study was conducted, and the new use will have a minimal impact on traffic compared to  
the existing shopping center and bank when they were occupied.

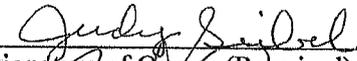
**EXHIBITS REQUIRED**

An electronic copy as well as four (4) 22x34 and twenty (20) 11x17 copies in sets and folded plans, showing application information as follows:

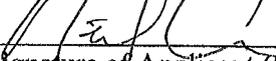
- a. A survey, scaled and dimensioned, site plan showing pertinent existing conditions, such as: parking layout, access provisions, structure locations, drainage, lot area, and yard dimensions, including but not limited to the surrounding parcels within 150 feet.
- b. A complete set of preliminary drawings prepared and signed by a registered civil engineer, architect, and/or landscape architect showing:
  - i. A site plan indicating parking layout, access provisions, structure locations, any fences, walls, or other screening, including height and type of material, landscaping, drainage, trees and shrubbery, including types, locations, and sizes,
  - ii. Building elevations, including finishes on all buildings on all sides,
  - iii. All lighting provisions on site, including type, location, and lumens affecting the surrounding parcels and streets,
  - iv. Curb type and location on site, and
  - v. Proposed plans for sidewalk to service, parking, recreation, and service areas within the site.
- c. Stormwater Management information, including:
  - i. Modeling showing proposed rates are meeting the existing rates for the Atlas-14, 10- and 100-year storm events,
  - ii. Existing and proposed drainage area maps,
  - iii. Utility plan showing existing and proposed storm sewer (if applicable) to verify modeling,
  - iv. Site grading plan,
  - v. If proposing infiltration, soil borings should be submitted to confirm adequate separation,
  - vi. If disturbing more than one acre, water quality modeling showing a 50% total phosphorus removal from runoff
  - vii. If creating more than an acre of net new impervious, volume control calculations to show 1" over the net increase in impervious being infiltrated.

**ACKNOWLEDGE AND SIGNATURE**

The undersigned hereby represents upon all penalties of law, for the purpose of inducing the City of West St Paul to take action herein requested, that all statements herein are true and that all work herein mentioned will be done in accordance with the Ordinances and all Codes of the City of West St Paul and the State of Minnesota.

  
\_\_\_\_\_  
Signature of Owner (Required)

651.484.0070  
\_\_\_\_\_  
Phone Number

  
\_\_\_\_\_  
Signature of Applicant (If different)

763-354-5638  
\_\_\_\_\_  
Phone Number

**NOTE: All Materials relevant to this Application must be filed on or before the dates listed on the Operating Procedures for Applicants page. The Planning Commission holds its regular meeting at 7:00pm on the third Tuesday of each month.**

**LAPSE OF SITE PLAN:** An approved site plan shall lapse and become null and void six months following the date on which the Plat was approved, unless prior to the expiration of six months a building permit is issued by the Building Official and construction is commenced and diligently pursued toward completion on the subject site. An approved Site Plan may be renewed once for a period of one year by the City Council.

**FEES**

- 1. The fees to be paid by each applicant for each zoning request shall be as prescribed by the City Council. Fees shall be payable at the time applications are filed with the Zoning Administrator and are not refundable unless the application is withdrawn prior to being sent for legal publication and notice. There shall be no fee in the case of applications filed in the public interest by the City Council or by the Planning Commission. Fees shall include application fee, filing fees, consultant, legal, planning, and engineering fees.
- 2. Applicants shall deposit with the City, together with the application filing fees, the sums required by Council resolution toward prepayment of the Consultants and Attorney's expenses and all costs to be billed and charged to the City. The prepayment amounts shall be a credit toward all reasonable fees and expenses charged by the Consultants to the City in the investigation report and recommendation to the City Council concerning the application. All reasonable expenses and fees, in excess of the deposit, shall be paid by the applicant to the City within 30 days of final action on the matter by the City. If not paid within 30 days, the account shall be deemed delinquent. If the fees and expenses incurred by the City from the Consultants are less than the amount of deposit, such excess shall be returned to the applicant upon final action by the City in said manner.



City Hall
1616 Humboldt Avenue
West St. Paul, MN 55118
651-552-4100
FAX 651-552-4190
www.wspmn.gov

REZONING/TEXT AMENDMENT APPLICATION

Filing Fee: \$325
Escrow Amount: \$800
Total Fees: \$1,125

OFFICE USE ONLY
Case No: 20-07
Date Received: 06/26/2020
Receipt No: 2020-0882
60 Day Date: 08/25/2020

Street Address of Property: 50 Signal Hills Center West St. Paul, MN 55118

Name of Applicant: Dominion Development and Acquisitions, LLC
Address of Applicant: 2905 Northwest Blvd
Suite 150 Plymouth, MN 55441

Phone # 763-354-5638
Email: nandersen@dominiuminc.com

Name of Owner: RPS Legacy Desoto, LLC
Address of Owner: 2935 County Drive, Suite 100
Little Canada, MN 55117

Phone # 651-587-4030
Email: david@rpslegacy.com

Legal/PID # 420170055060, 420170055051 & 420170050012

Present Zoning: B-4 Shopping Center
Present Use: Shopping Center

Proposed Zoning: PMD with B4 + R4
Proposed Use: Multifamily / Commercial

What changed or changing condition(s) made the passage of this amendment necessary?
The existing site has a vacant shopping center and bank building.

What is the effect of the proposed amendment?
The proposed zoning will allow for 393 units of housing

What error, if any, in the existing ordinance would be corrected by the proposed amendment?

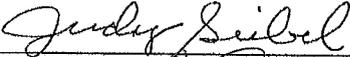
What other circumstances justify the amendment?
The 2040 comprehensive plan guides the property for mixed-use which allows for multi-family development with densities of 20-40 units per acre.

**EXHIBITS REQUIRED**

1. An electronic copy as well as four (4) 22x34 and twenty (20) 11x17 paper copies in sets and folded, of a map or plat showing the lands proposed to be rezoned and all lands within 350 feet of the boundaries of the property proposed to be rezoned.
2. Written proof of ownership or legally recognized financial interest of the property on which the rezoning is requested.

**ACKNOWLEDGE AND SIGNATURE**

The undersigned hereby represents upon all penalties of law, for the purpose of inducing the City of West St Paul to take action herein requested, that all statements herein are true and that all work herein mentioned will be done in accordance with the Ordinances and all Codes of the City of West St Paul and the State of Minnesota.

 _____ Signature of Owner (Required)	<u>651.484.0070</u> _____ Phone Number
 _____ Signature of Applicant (If different)	<u>763-354-5638</u> _____ Phone Number

**NOTE: All Materials relevant to this Application must be filed on or before the dates listed on the Operating Procedures for Applicants page. The Planning Commission holds its regular meeting at 7:00pm on the third Tuesday of each month.**

---

**FEES**

1. The fees to be paid by each applicant for each zoning request shall be as prescribed by the City Council. Fees shall be payable at the time applications are filed with the Zoning Administrator and are not refundable unless the application is withdrawn prior to being sent for legal publication and notice. There shall be no fee in the case of applications filed in the public interest by the City Council or the Planning Commission. Fees shall include the application fee, filing fees, consultants, legal, planning, and engineering fees.
2. Applicants shall deposit with the City, together with the application filing fees, the sums required by City Council resolution toward prepayment of the Consultants and Attorneys expenses and all costs to be billed and charged to the City. The prepayment amounts shall be a credit toward all reasonable fees and expenses charged by the Consultants to the City in the investigation report and recommendation to the City Council concerning the application. All reasonable expenses and fees in excess of the deposit shall be paid by the applicant to the City within 30 days of final action on the matter by the City. If not paid within 30 days, the account shall be deemed delinquent. If the fees and expenses incurred by the City from the Consultants are less than the amount of deposit, such excess shall be returned to the applicant upon final action by the City in said manner.



City Hall  
 1616 Humboldt Avenue  
 West St. Paul, MN 55118  
 651-552-4100  
 FAX 651-552-4190  
[www.wspmn.gov](http://www.wspmn.gov)

## PLATTING APPLICATION

Filing Fee: \$275 + \$2 each lot  
 Escrow Amount: \$600 (1-2 lots)  
                   \$1,600 (3 or more lots)  
 Total Fees: \$ 1,600 + \$275 + \$6 =  
                                   \$1,881

OFFICE USE ONLY	
Case No: <u>20-07</u>	
Date Received: <u>06/26/2020</u>	
Receipt No: <u>2020-0882</u>	
60 Day Date: <u>08/25/2020</u>	

### CONTACT INFORMATION

Name of Applicant: Dominium Development and Acquisitions, LLC Phone # 763-354-5654  
 Address of Applicant: 2905 Northwest Blvd Suite 150 Email: eric.omdahl@Dominiuminc.com  
Plymouth, MN 55441

Name of Owner: RPSLegacyDesoto, LLC Phone # 651-587-4030  
 Address of Owner: 2935 County Drive, Suite 100 Email: david@rpslegacy.com  
Little Canada, MN 55117

Name of Surveyor: Loucks Phone # 763.496.6762  
 Address of Surveyor: 7200 Hemlock Lane Suite 300 Email: Mstanislawski@loucksinc.com  
Maple Grove, MN 55369

Name of Engineer: Loucks Phone # 763.496.6751  
 Address of Engineer: 7200 Hemlock Lane Suite 300 Email: strebesch@loucksinc.com  
Maple Grove, MN 55369

### PLAT INFORMATION

Legal/PID # of the Property Involved: 420170055060, 420170055051 & 420170050012  
 Total Acreage: 29.00 Proposed Number of Lots: 3  
 Proposed Name of Plat: WSP LEASED HOUSING

Plat meets all minimum subdivision requirements. If not, explain: \_\_\_\_\_

\_\_\_\_\_

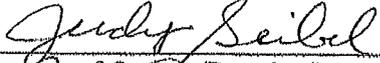
\_\_\_\_\_

**EXHIBITS REQUIRED**

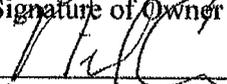
1. An electronic copy as well as four (4) 22x34 and twenty (20) 11x17 copies of the proposed plat/final plat in sets.

**ACKNOWLEDGE AND SIGNATURE**

The undersigned hereby represents upon all penalties of law, for the purpose of inducing the City of West St Paul to take action herein requested, that all statements herein are true and that all work herein mentioned will be done in accordance with the Ordinances and all Codes of the City of West St Paul and the State of Minnesota.

  
\_\_\_\_\_  
Signature of Owner (Required)

651.484.0070  
\_\_\_\_\_  
Phone Number

  
\_\_\_\_\_  
Signature of Applicant (If different)

763-354-5038  
\_\_\_\_\_  
Phone Number

**NOTE: All Materials relevant to this Application must be filed on or before the dates listed on the Operating Procedures for Applicants page. The Planning Commission holds its regular meeting at 7:00pm on the third Tuesday of each month.**

---

**LAPSE OF PLAT:** An approved Plat shall lapse and become null and void six months following the date on which the Plat was approved, unless prior to the expiration of six months the Plat is recorded at Dakota County

**FEES**

1. The fees to be paid by each applicant for each zoning request shall be as prescribed by the City Council. Fees shall be payable at the time applications are filed with the Zoning Administrator and are not refundable unless the application is withdrawn prior to being sent for legal publication and notice. There shall be no fee in the case of applications filed in the public interest by the City Council or by the Planning Commission. Fees shall include application fee, filing fees, consultant, legal, planning, and engineering fees.
2. Applicants shall deposit with the City, together with the application filing fees, the sums required by Council resolution toward prepayment of the Consultants and Attorney's expenses and all costs to be billed and charged to the City. The prepayment amounts shall be a credit toward all reasonable fees and expenses charged by the Consultants to the City in the investigation report and recommendation to the City Council concerning the application. All reasonable expenses and fees in excess of the deposit shall be paid by the applicant to the City within 30 days of final action on the matter by the City. If not paid within 30 days, the account shall be deemed delinquent. If the fees and expenses incurred by the City from the Consultants are less than the amount of deposit, such excess shall be returned to the applicant upon final action by the City in said manner.

**CITY OF WEST ST. PAUL, MN  
NOTICE OF PUBLIC HEARING**

The listed items below will be a Public Hearing at the Planning Commission Meeting Tuesday, July 21, 2020 at 6:30 pm and a Public Hearing at the City Council Meeting Monday, July 27, 2020 at 6:30 p.m.:

**PC Case 20-07 – Multiple applications for the construction of two apartment buildings totaling to 393 units at 1201 Robert St. #50 (K-Mart Site) and 100 Signal Hills Ave (Signal Bank Site) – Dominion Development**

If you have any questions regarding the hearing item listed above, please contact Melissa Sonnek, City Planner at (651) 552-4134.

---

For Informational Purposes Only – Not for Publication

Shirley Buecksler  
City Clerk

Published: July 12, 2020  
St. Paul Pioneer Press

Posted: July 7, 2020  
Municipal Center

**TO: City Planner**  
**THROUGH: Asst. Parks & Recreation Dir.**  
**FROM: Environmental Committee**  
**DATE: July 15, 2020**



---

**SUBJECT:**

Case 20-07 – Site Plan Review for the Construction of Two Apartment Buildings

**BACKGROUND INFORMATION:**

Due to the current COVID-19 crisis, the Environmental Committee (EC) did not meet in July. That being said, the EC is still reviewing the landscaping for any submitted site plan remotely. Members recently reviewed the Site Plan submitted by Dominion Development for the construction of two affordable apartment buildings located at the current K-Mart and Signal Bank Buildings. The total number of units is 393 units, 247 units within an independent senior building and 146 units within a non-age restricted affordable apartment building.

Four of the seven Committee members submitted their comments regarding the plans. Overall, Members liked that there was some stormwater management addressed, but would like to see more done and perhaps reduce impervious surface area. They were very happy to see the numbers required trees was actually exceeded and that the landscaping was very thorough and complete, with a nice variety and selection of plantings. Other comments by Members included the addition of Dark Sky compliant lighting, a green or white roof, recycling of stormwater, and guarantee that landscape plan is actually followed. Members are recommending approval of the plans with the following recommendations:

- They strongly encourage the developer to use “pollinator friendly” native plants that were not treated with “neonicotinoids”.
- The addition of a green roof to treat stormwater onsite or white roof to reduce urban heat island effect.
- Strongly encourage all exterior lighting to be Dark Sky compliant

**RECOMMENDATION:**

Environmental Committee members approve the Construction of two apartment complexes on the Signal Hills site, with the recommendations listed above.

## **COMMISSIONER COMMENTS:**

1. How wonderful to hear that this area will finally be redeveloped. I would follow the suggestions we always seem to give about native plants and pollinator friendly.
2. My concern is that the landscape plan will be pared down once the project is in place. Hence, I would recommend that before any Certificate of Occupancy for the development is issued, an inspection of the property must be completed to ensure the landscape plan was completed as presented to, and approved by, the Council and Environmental Committee.
3. The plan looks good. I'm glad they are adding so many trees. I am wondering about the amount of parking I see in the plan- is that much blacktop necessary or is this code? This site used to be a wetland and it would be great to add a water feature of some kind- pond, etc. Reducing blacktop would also be my recommendation.
4. Would it be possible to implement some rainwater recycling on the site for both of these projects for the irrigation like the Minnesota Twins do? Instead of completely relying on water supply from the City for irrigation and getting rid of excessive rainwater, would it be possible to explore rainwater recycling for at least a part of the water needs for the landscape?

Dark Sky lighting

White roofs, green roofs,

Rain gardens to assist with rain capture

Use native plants whenever possible that are neonic-free

Energy-efficient lighting

Non-toxic building materials

Water-saving features, if possible

Love that so many trees and other vegetation that will be in the final design

To: **Planning Commission and City Council**  
Through: **Melissa Sonnek, City Planner**  
From: **Cody Joos, Engineering Tech II**  
Date: **July 9<sup>th</sup>, 2020**

## **Dominium Plat Review**

---

### **REVIEW:**

The Engineering Department has completed a review of the above listed plat.

### **STAFF RECOMMENDATION:**

1. Request that the applicant realign Livingston Avenue along the northeast NE corner of the property, to square up the Livingston and Butler intersection,
2. Request an 8ft wide trail along Butler Avenue as well as a 5ft wide sidewalk along Livingston, as is outlined in the West St. Paul Pedestrian & Bicycle Plan, and
3. Request a minimum of 10ft wide utility and drainage easements along property lines that abut public streets and 5ft easements for interior property lines.

## Memorandum

To: Ross Beckwith, PE  
Melissa Sonnek

From: Kendra Fallon, EIT  
Jake Newhall, PE

Date: July 14, 2020

Re: Signal Hills Dominion Stormwater Review  
WSB Project No. 013770-000

---

The following documents were submitted on June 29, 2020 by Loucks and were reviewed for compliance with the City of West St. Paul (City), Lower Mississippi River Watershed Management Organization (LMRWMO), and MPCA Engineering Guidelines:

- Exhibit A – Family Site Plans
- Exhibit A – Senior Site Plans
- 05749D-DA-FPLAT-03-10-20
- 05749D-DA-PPLAT-03-10-20
- Exhibit C – Stormwater Management Plan

The project will disturb over an acre of land which requires a NPDES permit and triggers water quality and rate control requirements. The following comments should be addressed as the project moves forward:

### General

1. A NPDES permit will be required prior to construction. Applicant should list existing impervious area on site within the drainage report or on the plans to confirm the net change in impervious.
  - a. Erosion control plans and a SWPPP should be submitted for review.
2. A maintenance agreement including an operations and maintenance plan for the underground filtration basins should be included in future submittals.
3. Rational method storm sewer sizing calculations and a catch basin drainage area map should be submitted to confirm storm sewer is being sized for the 10-year storm event.
4. The drainage report notes that MIDS modeling was used to confirm 50% TP removal requirement was being met. Applicant should submit MIDS inputs and results to confirm.

### Plans

1. The plans note to see details for the Contech Stormfilter systems, however, there were no details provided.
2. There is a run of storm sewer south of the proposed Family Building which is not being routed to the underground filtration systems. Applicant should note why that storm sewer is bypassing the underground filtration systems (depth of storm sewer, etc.).
3. A sump should be added to CBMH 107 if sumps are intended to provide the required pretreatment for the underground filtration systems. If not, some other form of pretreatment prior to the underground filtration systems must be provided.
4. Applicant should confirm if a catch basin is needed on the southwest side of the road across from CBMH 113 at an apparent low point.

- a. Additionally, if the green space near the building will drain to the roadway applicant may consider removing CB 113A.
5. It is recommended that a catch basin be added to the curb line just north of the southeast garage entrance (on the storm sewer pipe from CB 140 to CBMH 141).
6. The EOF for low points within the parking lot should be called out on the plans.
7. There is a trench drain called out on sheet C4-2 near the northeast garage entrance, however, there is not a trench drain shown.
8. Connections to City storm sewer or any storm sewer within the City right-of-way should be updated to RCP. It is recommended RCP be used under all driving surfaces.
  - a. The pipe size for all existing storm sewer being connected into should be called out on the plans.

### **Modeling**

1. The underground filtration systems should be modeled as ponds rather than reaches and should be representative of the details in the plans when provided.
  - a. Applicant should include information on the design rate through the filtration media in the Contech Stormfilter system to confirm modeling.
2. The 10-day snowmelt event should be modeled, and the results should be included in future submittals.
3. There is a portion of proposed drainage area E3 which appears to drain directly to Livingston Avenue. If that is correct the proposed drainage area map and HydroCAD model should be updated accordingly.

We request the applicant respond with how each comment above has been addressed. Please reach out with any questions concerning the comments provided in this memo.



Dakota County Surveyor's Office

Western Service Center • 14955 Galaxie Avenue • Apple Valley, MN 55124  
952.891-7087 • Fax 952.891-7127 • www.co.dakota.mn.us

July 9, 2020

City of West St. Paul  
1616 Humboldt Ave.  
West St. Paul, MN 55118

Re: **WSP FAMILY LEASED HOUSING**

The Dakota County Plat Commission met on July 8, 2020, to consider the preliminary plat of the above referenced plat. The plat is adjacent to CSAH 4 (Butler Ave.) and is therefore subject to the Dakota County Contiguous Plat Ordinance.

The preliminary plat includes a redevelopment project of portions of the Signal Hills Mall site that proposes a senior building with 247 units and an apartment building with 146 units. The access spacing guidelines are 1/8-mile along CSAH 4 (Butler Avenue). The proposed plat includes two access locations to CSAH 4. As discussed, with inadequate access spacing, the Plat Commission will allow only the one access at Gorman Avenue. The right-of-way needs along CSAH 4 are 50-feet of half right of way. With the existing buildings and conditions in the area, the Plat Commission is requiring only 40-feet of half right way. The plat needs to dedicate an additional 10-feet of right of way to meet the 40-foot requirement.

As discussed, the Plat Commission highly recommends a new 8-foot trail with this proposed development to accommodate existing and future pedestrians and bikers along CSAH 4. This proposed development increases the need for a modern 8-foot trail, which also aligns with the Dakota County Pedestrian and Bike Trail Plan.

The Plat Commission also noted that with this larger redevelopment project, it would be good opportunity to realign the Livingston Avenue/CSAH 4 intersections. The southern portion of Livingston Avenue could realign with the northern portion of Livingston to increase the safety of traffic movements at these intersections.

The Plat Commission has approved the preliminary plat provided that the described conditions are met. The Ordinance requires submittal of a final plat for review by the Plat Commission before a recommendation is made to the County Board of Commissioners.

Traffic volumes on CSAH 4 are 4,900 ADT and are anticipated to be 5,200 ADT by the year 2030. These traffic volumes indicate that current Minnesota noise standards for residential units could be exceeded for the proposed plat. Residential developments along County highways commonly result in noise complaints. In order for noise levels from the highway to meet acceptable levels for adjacent residential units, substantial building setbacks, buffer areas, and other noise mitigation elements should be incorporated into this development.

No work shall commence in the County right of way until a permit is obtained from the County Transportation Department and no permit will be issued until the plat has been filed with the County Recorder's Office. The Plat Commission does not review or approve the actual engineering design of proposed accesses or other improvements to be made in the right of way. Nothing herein is intended to

restrict or limit Dakota County's rights with regards to Dakota County rights of way or property. The Plat Commission highly recommends early contact with the Transportation Department to discuss the permitting process which reviews the design and may require construction of highway improvements, including, but not limited to, turn lanes, drainage features, limitations on intersecting street widths, medians, etc. Please contact Gordon McConnell regarding permitting questions at (952) 891-7115 or Todd Tollefson regarding Plat Commission or Plat Ordinance questions at (952) 891-7070.

Sincerely,

A handwritten signature in black ink that reads "Todd B. Tollefson". The signature is written in a cursive style with a prominent horizontal line above the first name.

Todd B. Tollefson  
Secretary, Plat Commission

c: Matt Hodges (Dominium Inc.)

July 15, 2020

Melissa Sonnek  
City Planner  
City of West St. Paul  
1616 Humboldt Avenue  
West St. Paul, MN 55118

**SUBJECT: MnDOT Review # P20-042**  
**Signal Hills Shopping Center Redevelopment**  
SW Quad MN 952(S. Robert St.) & Butler Avenue West.  
West St. Paul, Dakota County

Dear Ms. Sonnek :

Thank you for the opportunity to review the **Signal Hills Shopping Center Redevelopment**. MnDOT has reviewed the documents and has the following comments:

***Noise:***

MnDOT's policy is to assist local governments in promoting compatibility between land use and highways. Residential uses located adjacent to highways often result in complaints about traffic noise. Traffic noise from this highway could exceed noise standards established by the Minnesota Pollution Control Agency (MPCA), the U.S. Department of Housing and Urban Development, and the U.S. Department of Transportation. Minnesota Rule 7030.0030 states that municipalities having the authority to regulate land use shall take all reasonable measures to prevent the establishment of land use activities, listed in the MPCA's Noise Area Classification (NAC), anywhere that the establishment of the land use would result in immediate violations of established State noise standards.

MnDOT policy regarding development adjacent to existing highways prohibits the expenditure of highway funds for noise mitigation measures in such developed areas. The project proposer is required to assess the existing noise situation and take the action deemed necessary to minimize the impact to the proposed development from any highway noise.

If you have any questions regarding MnDOT's noise policy please contact Natalie Ries in Metro District's Noise and Air Quality Unit at 651-234-7681 or [Natalie.Ries@state.mn.us](mailto:Natalie.Ries@state.mn.us).

***Transit:***

There are bus stops along eastbound Butler Ave near Humboldt and along southbound Livingston Ave. Please coordinate with Metro Transit to mitigate impacts to operations at these

An equal opportunity employer

stops. Metro Transit requests the developer contact them at [Transit-BusOps-StreetSup-AssistManagers@metc.state.mn.us](mailto:Transit-BusOps-StreetSup-AssistManagers@metc.state.mn.us) so they can work together to make sure to avoid possible impacts and disruptions to the stop as well making sure the stop is up to proper specifications when project is complete.

If you have any questions regarding this comment, please contact Jason Junge, Multimodal Planning, [Jason.Junge@state.mn.us](mailto:Jason.Junge@state.mn.us) or 651-234-7878.

***Multimodal:***

Metro Bike/Ped recommends that all driveway entries to the development from the public Right-of-Way consider driveway intersection treatments that encourage turning vehicles to yield to sidewalk users. The concrete sidewalk should continue at typical sidewalk elevation across the driveway and the driveway itself should raise up to meet the elevation of the sidewalk. The driveway entry off of Butler in the senior housing site plan shows a curb line across the sidewalk, which presents accessibility issues. Please correct this. MnDOT recommends the developer consider direct sidewalk connections to the shopping center to the south.

For questions regards the above comments, contact Jesse Thorsen, Metro Multimodal, at 651-234-7788 or [Jesse.Thorsen@state.mn.us](mailto:Jesse.Thorsen@state.mn.us).

***Water Resources:***

A MnDOT drainage permit will be required to ensure that current drainage rates to MnDOT right-of-way will not be increased. The drainage permit application, including the information below, should be submitted online to: <https://dotapp7.dot.state.mn.us/OLPA>

The following information must be submitted with the drainage permit application:

- 1) A grading plan showing existing and proposed contours.
- 2) Drainage area maps for the proposed project showing existing and proposed drainage areas. Any off-site areas that drain to the project area should also be included in the drainage area maps. The direction of flow for each drainage area must be indicated by arrows.
- 3) Drainage computations for pre and post construction conditions during the 2, 10, 50 and 100 year rain events.
- 4) Time of concentration calculations.
- 4) An electronic copy of any computer modeling used for the drainage computations.
- 5) See also the attached Drainage Permits Checklist for more information.

Once a drainage permit application is submitted, a thorough review will be completed and additional information may be requested. Please direct questions concerning drainage issues to Jason Swenson (651-234-7539) or [Jason.Swenson@state.mn.us](mailto:Jason.Swenson@state.mn.us) of MnDOT's Water Resources section.

***Permits:***

In addition to the drainage permit mentioned above, any use of, or work within or affecting, MnDOT right of way will require a permit.

Permits can be applied for at this site: <https://olpa.dot.state.mn.us/OLPA/>.

Please direct questions regarding permit requirements to Buck Craig of MnDOT's Metro Permits Section at 651-234-7911 or [Buck.Craig@state.mn.us](mailto:Buck.Craig@state.mn.us).

### ***Review Submittal Options***

MnDOT's goal is to complete reviews within 30 calendar days. Review materials received electronically can be processed more rapidly. Do not submit files via a cloud service or SharePoint link. In order of preference, review materials may be submitted as:

1. Email documents and plans in PDF format to [metrodevreviews.dot@state.mn.us](mailto:metrodevreviews.dot@state.mn.us). Attachments may not exceed 20 megabytes per email. Documents can be zipped as well. If multiple emails are necessary, number each message.
2. PDF file(s) uploaded to MnDOT's external shared internet workspace site at: <https://mft.dot.state.mn.us>. Contact MnDOT Planning development review staff at [metrodevreviews.dot@state.mn.us](mailto:metrodevreviews.dot@state.mn.us) for uploading instructions, and send an email listing the file name(s) after the document(s) has/have been uploaded.
3. Mailed or hand delivered documents in PDF format on a flash drive or CD-ROM to:  
MnDOT – Metro District Planning Section  
Development Reviews Coordinator  
1500 West County Road B-2  
Roseville, MN 55113
4. Printed documents via mail or hand delivery to the address above. Include one set of full-size plans.

If you have any questions concerning this review, please contact me at (651) 234-7797.

Sincerely,



Cameron Muhic  
Senior Planner

### **Copy sent via E-Mail:**

Buck Craig, Permits  
Chris Chatfield, Water Resources  
Molly Kline, Area Engineer  
Almin Ramic, Traffic  
Casey Crisp, Surveys  
Mackenzie Turner Bargaen, Multimodal  
Jason Junge, Transit

Lance Schowalter, Design  
Jason Swenson, Water Resources  
Mohamoud Mire, Area Coordinator  
Natalie Ries, Noise  
Benjamin Klismith, Right-of-Way  
Jesse Thornsen, Multimodal  
Russell Owen, Metropolitan Council

# Technical Memorandum

**To:** Matt Hodges – Dominionium  
**From:** Jonah Finkelstein, PE  
**Date:** July 15, 2020  
**Re:** Trip Generation Memorandum – West Saint Paul Residential Development

---

## Purpose of Report and Study Objectives

The purpose of this study is to determine the expected traffic generation for the proposed residential development site located south of Butler Avenue between Hall Avenue and Livingston Avenue in West Saint Paul, Minnesota. The new land use will consist of a 137-unit apartment complex and 232 senior building in place of the existing shopping center.

## Conclusions

The trip generation and distribution of the proposed residential complex was reviewed. Using standard trip generation data, the expected trip generation for the proposed development is:

- 1,390 daily trips to and from the site
- 84 new AM peak hour trips (32 entering and 52 exiting)
- 115 new PM peak hour trips (64 entering and 51 exiting)

No significant operational impacts are anticipated for the surrounding roadways and intersections due to the trips generated from this proposed development.

## Existing Site

The proposed site is currently vacant but was originally a big box department store. The development shares its parking lot with the strip mall to the south though these connections are proposed to be removed with the new development.

Based on available data sources, the following Average Daily Traffic (ADT) volumes are present on the surrounding roadways:

- 5,200 vehicles per day on Butler Avenue west of S Robert Street
- 8,300 vehicles per day on Butler Avenue east of S Robert Street
- 13,300 vehicles per day on S Robert Street north of Butler Avenue
- 18,400 vehicles per day on S Robert Street south of Butler Avenue

## Trip Generation

The existing and future traffic forecasts for the site are based on the data and methods published in the *Institute of Transportation Engineers (ITE) Trip Generation Manual, 10<sup>th</sup> Edition*. The ITE manual compiles studies from across the country to provide a national average of traffic for various land uses. Spack Consulting also collects current average traffic volumes for various land uses in the Twin Cities regional area for use in our studies. Local data is considered more relevant than the ITE national data as it is generally newer and accounts for our area's specific characteristics and driving habits. Per the procedure in the *Trip Generation Manual*, local trip generation data is used when possible and supplemented with national ITE data when local data is not available.

Table 1 presents the trip generation for proposed land uses.

**Table 1 – Raw Trip Generation Comparison**

Source	Description (source)	Daily Trips		AM Peak Hour		PM Peak Hour	
		Entering	Exiting	Entering	Exiting	Entering	Exiting
ITE	Multifamily Housing (Mid-Rise) – 167-Units (ITE-221)	373	373	13	36	37	24
	Senior Adult Housing – Attached – 232-Units (ITE-252)	429	429	16	30	33	27
	<b>TOTAL TRIP GENERATION</b>	<b>802</b>	<b>802</b>	<b>29</b>	<b>67</b>	<b>70</b>	<b>51</b>
Local	Apartment	302	302	6	36	40	19
	Senior Adult Housing	393	393	26	16	24	32
	<b>TOTAL TRIP GENERATION</b>	<b>695</b>	<b>695</b>	<b>32</b>	<b>52</b>	<b>64</b>	<b>51</b>

As shown in Table 1, the local and ITE based peak hour trip generation results are similar. Therefore, based on recommended best practices, the trip generation forecasts based on local data are used in the analysis.

The proposed development change results in roughly 1,390 new daily trips, 84 new AM peak hour trips, and 115 pm peak hour trips when compared against the vacant lot.

To show the magnitude of change compared to the previous big box store land use the expected trip generation for the residential land use was compared against that of a department store. This comparison can be seen in Table 2.

**Table 2 – Raw Trip Generation Comparison**

Source	Description (source)	Daily Trips		AM Peak Hour		PM Peak Hour	
		Entering	Exiting	Entering	Exiting	Entering	Exiting
Proposed Land Use	TOTAL TRIP GENERATION (Local)	695	695	32	52	64	51
Existing Land Use	Big Box Store (Local)	2,358	2,358	99	77	184	192
<b>Net Change in Trip Generation</b>		<b>-1663</b>	<b>-1663</b>	<b>-67</b>	<b>-25</b>	<b>-120</b>	<b>-141</b>

As Table 2 shows, when compared to the previously existing big box store land use, the proposed residential land use is expected to generate less traffic including:

- 3,326 less daily trips
- 92 less AM peak hour trips
- 261 less PM peak hour trips

### Trip Generation Distribution

To be able to see the impact of site trips on surrounding intersections, trips need to be distributed throughout the roadway network. A trip distribution pattern for the generated traffic going to and from the proposed development accounting for the major highway connections surrounding the development and likely travel patterns is as follows:

- 30% of the generated traffic to/from the north on S Robert Street
- 20% of the generated traffic to/from south on S Robert Street
- 35% of the generated traffic to/from east on Butler Avenue
- 15% of the generated traffic to/from west on Butler Avenue

Traffic generated by the site development was assigned to the area roadways per this distribution pattern.

---

### Intersection Impact Analysis

Using the trip generation and trip distribution, new trips for the proposed land use plan were routed through the following intersections:

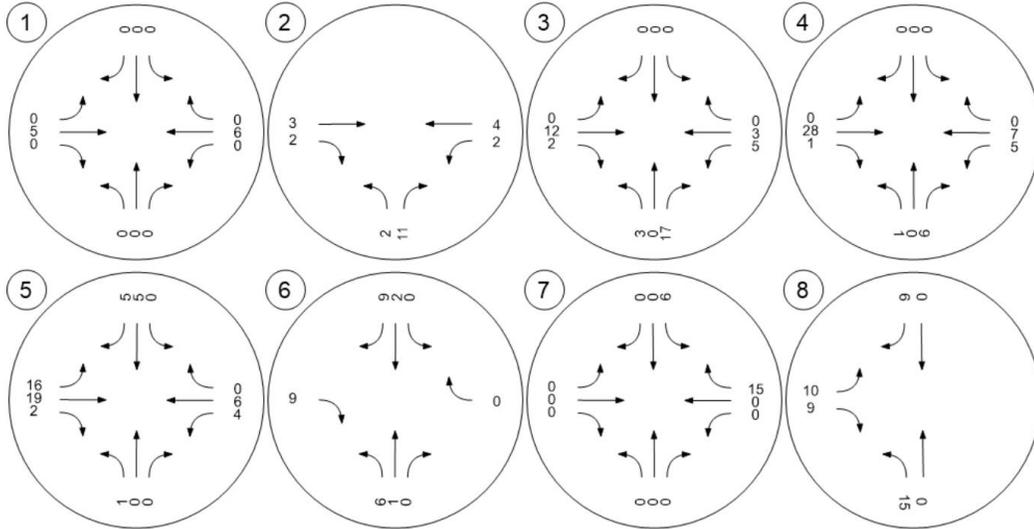
- Butler Avenue & Hall Avenue
- Butler Avenue & Western Site Access
- Butler Avenue & Eastern Site Access
- Butler Avenue & Livingston Avenue
- S Robert Street & Butler Avenue
- S Robert Street Orme Avenue
- Livingston Avenue & Orme Avenue
- Livingston Avenue & Site Access

Figure 1, below, present the routing of the new trips, associated with the residential development, through the study area.

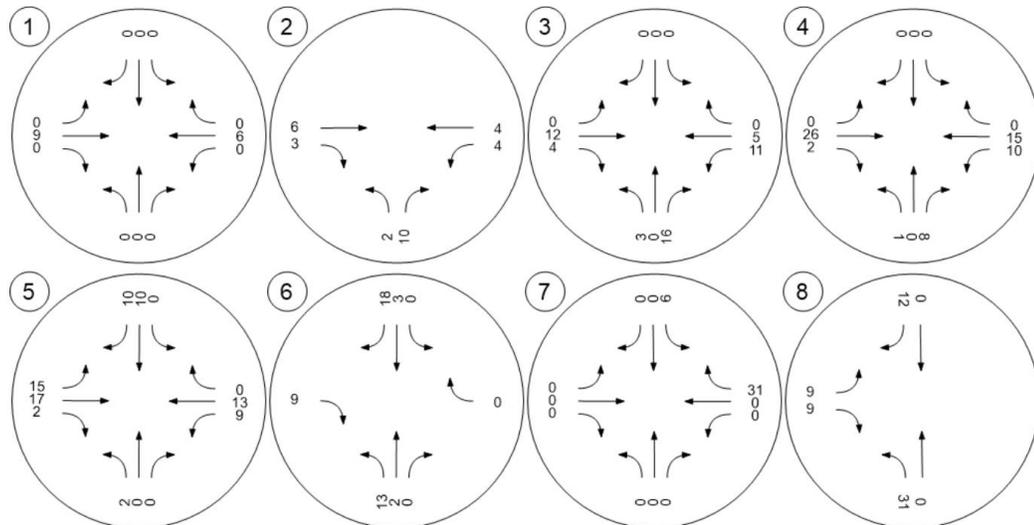
Figure 1 – Peak Hour Site Trips with Current Land Use Scenario



AM Peak Hour



PM Peak Hour



As seen in Figure 1, the highest hourly volume increase for any intersection movement due to the site traffic is 31 vehicles. This occurs at the westbound right turn at Livingston Avenue & Orme Avenue and the northbound left turn at Livingston Avenue & Site Access in the evening peak hour. This magnitude of new trips equates to an increase of roughly one vehicle every two minutes for that movement.

The West Saint Paul Planning Commission raised congestion concerns about the S Robert S & Orme Avenue intersection. At this intersection, the following volume increases are forecasted:

- Northbound left turn; six vehicles in the AM peak hour and 13 vehicles in the PM peak hour
- Southbound right turn; nine vehicles in the AM peak hour and 18 vehicles in the PM peak hour
- Eastbound right turn; nine vehicles in each of the peak hours

This magnitude of new trips at one intersection does not raise any significant impact concerns and is not expected to significantly change overall traffic flow or operations.

### Site Plan Review

The proposed site plan was reviewed for traffic-related concerns. The following conditions are noted:

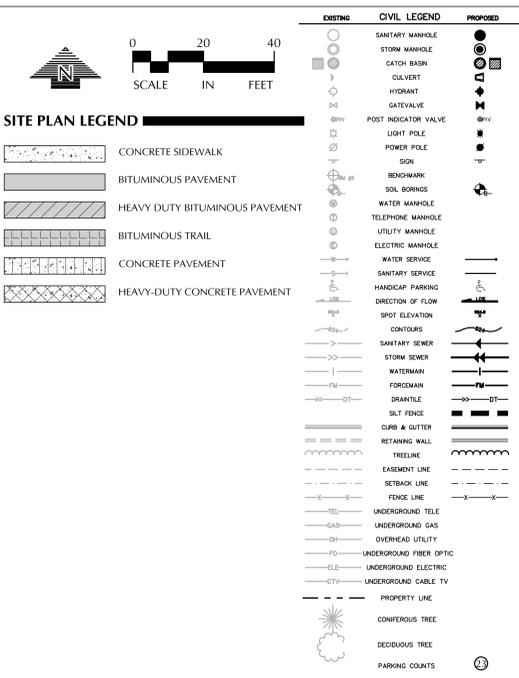
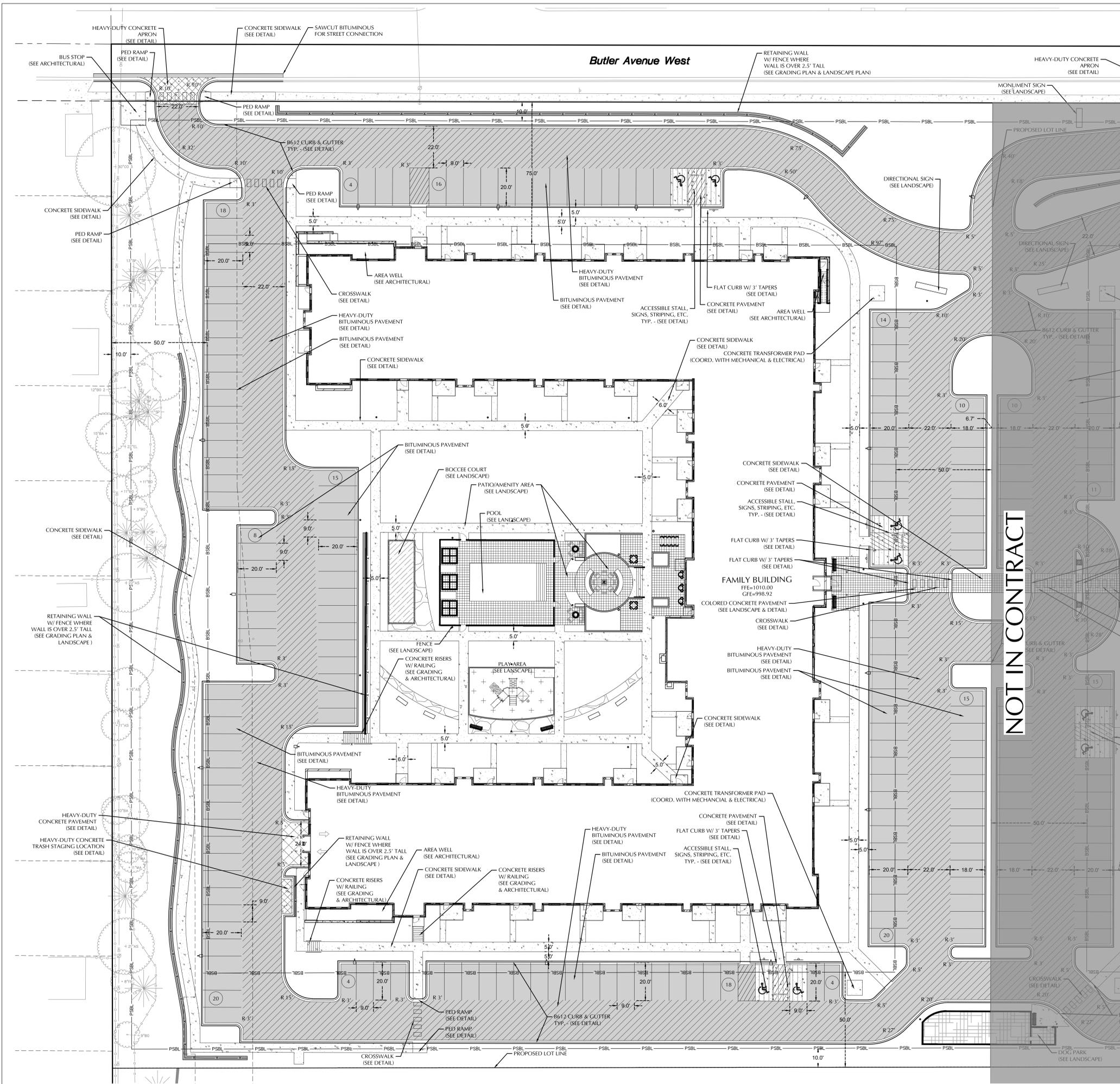
- Sidewalk Connections
  - Provide sidewalk extensions to the existing sidewalk along Butler Avenue.
  - Remove the internal crosswalks to the south of the development as they do not align with any receiving pedestrian infrastructure.
  - Construct a sidewalk along the west side of Livingston Avenue with connections to Butler Avenue and Orme Avenue. This will provide safe pedestrian connections to the south.
  - Provide a boulevard between Butler Avenue and the proposed sidewalk to allow room for snow storage and signage. This will also match the existing northern sidewalk configuration.
  - If mobility between buildings is expected to be high, additional crossing should be provided near the north and south end of each building.
- Site Access and
  - One new site access is proposed on Butler Avenue near Gorman Avenue. This access should line up with Gorman Avenue and limit the offset distance. As currently shown, the left turn movements between Gorman Avenue and the driveway overlap, creating travel path conflict concerns.
- Internal Routing and Operations
  - The offset stagger of the north-south aisles will help reduce speeds within the parking area. However, the staggers should be designed to ensure they allow safe passing of vehicles travelling in each direction to not create a bottleneck and that trucks can safely maneuver through the parking aisles.

- 
- Safe loading and unloading zones should be provided for tenants in a location that does not obstruct overall traffic flow on site.
  - A designated trash pick-up and delivery area is not shown on the site plan. These locations should be placed such they do not block routing through the site.
  - Service vehicles, such as trash pick-up and deliveries should be scheduled outside of peak hours to help reduce the overall peak hour vehicle demand of the site.
  - Bicycle Infrastructure:
    - Bicycle parking, in a well-lit area near the main accesses of each building, should be provided for guests.
    - Long term bicycle storage should be provided for tenants inside of each development. This facility should provide basic bicycle maintenance tools such as a tire pump for basic maintenance needs.

## Attachments

- A. Site Plan





**SITE DATA**

CURRENT ZONING:	B-4
PROPOSED ZONING:	PRD
PARKING SETBACKS:	6'
FRONT YARD:	10'
REAR YARD:	0'
SIDE YARD:	*10' WHEN ABUTTING RESIDENTIAL
INTERNAL SIDE YARD:	10'
BUILDING SETBACKS:	
FRONT YARD:	75'
REAR YARD:	50'
SIDE YARD:	50'
WEST PROPERTY AREA:	5.35 AC.
AREA OF DISTURBANCE:	5.35 AC.
WEST IMPERVIOUS AREA:	3.07 AC.

- SITE NOTES**
- ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEETS) AND STATE/LOCAL JURISDICTION REQUIREMENTS.
  - ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
  - ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
  - TYPICAL FULL SIZED PARKING STALL IS 9' X 18' WITH A 22' WIDE TWO WAY DRIVE UNLESS OTHERWISE NOTED.
  - ALL CURB RADIUS SHALL BE 3.0' UNLESS OTHERWISE NOTED.
  - BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
  - SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.

**WEST OFF-STREET PARKING CALCULATIONS**

PROPOSED SURFACE PARKING PROVIDED:	166 STALLS
SURFACE ACCESSIBLE PARKING:	6 STALLS
REQUIRED SURFACE ACCESSIBLE PARKING:	6 STALLS*

\*REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES FOR 151-200 STALLS



**WARNING:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1
	06/28/2020	SITE PLAN APPLICATION

**CERTIFICATION**

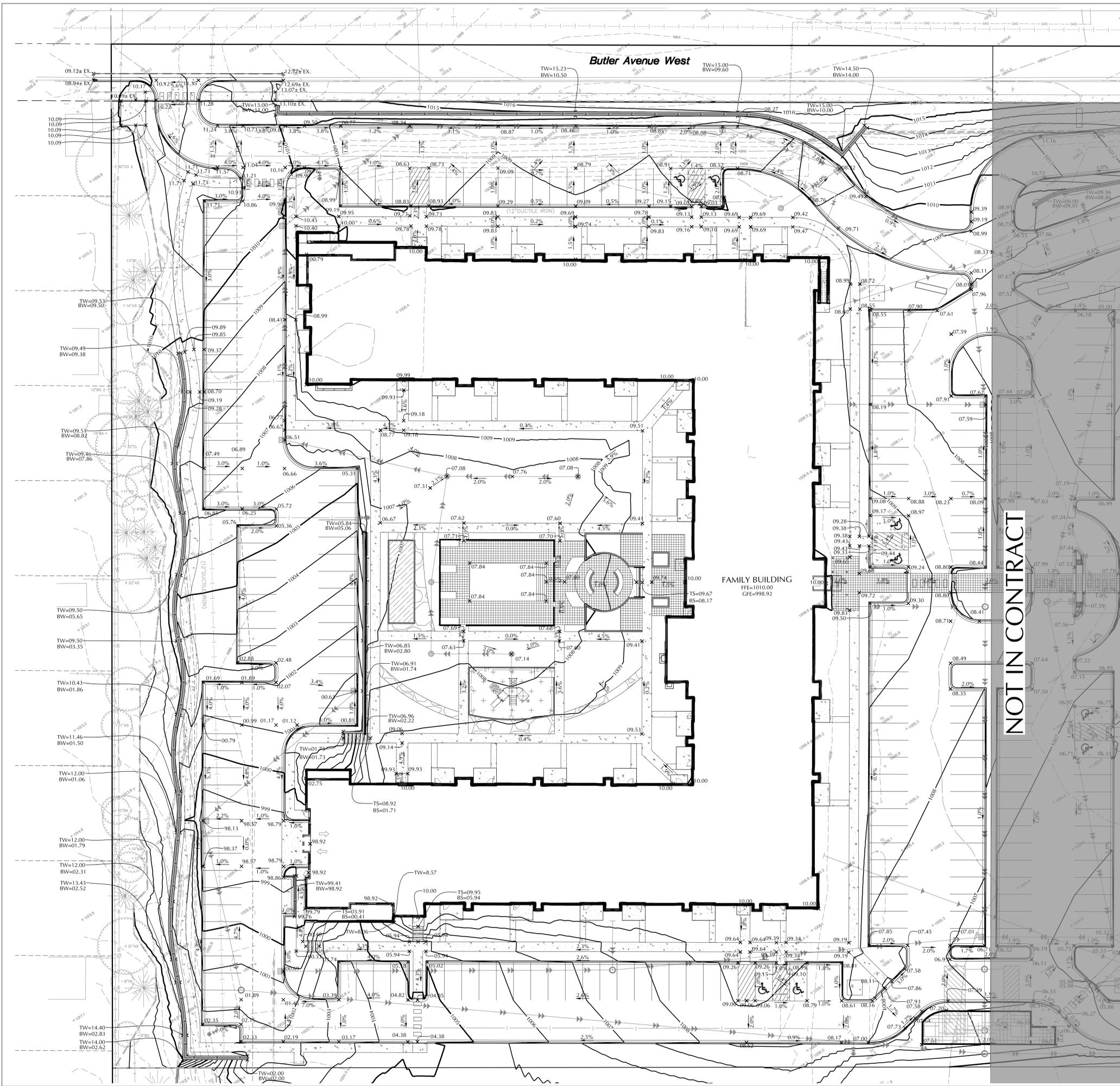
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Michael J. St. Martin, PE*  
 Michael J. St. Martin, PE  
 24440  
 License Number 03/13/2020  
 Date  
 DATE 06/28/2020  
 DRAWN BY JBT  
 CHECKED BY SRT  
 COMMISSION NUMBER 05749.08  
**SHEET TITLE**

**SITE PLAN**

**SHEET NUMBER**

**C2-1**



0 20 40  
SCALE IN FEET

--- CONSTRUCTION LIMITS

**EXISTING**

- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN
- CULVERT
- HYDRANT
- GATEVALVE
- POST INDICATOR VALVE
- LIGHT POLE
- POWER POLE
- SIGN
- BENCHMARK
- SOL BORINGS
- WATER MANHOLE
- TELEPHONE MANHOLE
- UTILITY MANHOLE
- ELECTRIC MANHOLE
- WATER SERVICE
- SANITARY SERVICE
- HANDICAP PARKING
- DIRECTION OF FLOW
- SPOT ELEVATION
- CONTOURS
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- FORECRAIN
- DRAINAGE
- SILT FENCE
- CURB & GUTTER
- RETAINING WALL
- TREELINE
- EASEMENT LINE
- SETBACK LINE
- FENCE LINE
- UNDERGROUND TELE
- UNDERGROUND GAS
- OVERHEAD UTILITY
- UNDERGROUND FIBER OPTIC
- UNDERGROUND ELECTRIC
- UNDERGROUND CABLE TV
- PROPERTY LINE
- CONIFEROUS TREE
- DECIDUOUS TREE
- PARKING COUNTS

**PROPOSED**

- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN
- CULVERT
- HYDRANT
- GATEVALVE
- POST INDICATOR VALVE
- LIGHT POLE
- POWER POLE
- SIGN
- BENCHMARK
- SOL BORINGS
- WATER MANHOLE
- TELEPHONE MANHOLE
- UTILITY MANHOLE
- ELECTRIC MANHOLE
- WATER SERVICE
- SANITARY SERVICE
- HANDICAP PARKING
- DIRECTION OF FLOW
- SPOT ELEVATION
- CONTOURS
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- FORECRAIN
- DRAINAGE
- SILT FENCE
- CURB & GUTTER
- RETAINING WALL
- TREELINE
- EASEMENT LINE
- SETBACK LINE
- FENCE LINE
- UNDERGROUND TELE
- UNDERGROUND GAS
- OVERHEAD UTILITY
- UNDERGROUND FIBER OPTIC
- UNDERGROUND ELECTRIC
- UNDERGROUND CABLE TV
- PROPERTY LINE
- CONIFEROUS TREE
- DECIDUOUS TREE
- PARKING COUNTS

- GRADING, DRAINAGE & EROSION CONTROL NOTES**
- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN CUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SLUMPED ELEVATIONS.
  - ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOIL. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
  - FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL); "GW" EQUALS SURFACE GRADE AT WALL GRADE TRANSITION, AND "BW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSE).
  - STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
  - DUST MUST BE ADEQUATELY CONTROLLED.
  - SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
  - SEE UTILITY PLANS FOR WATER, STORM AND SANITARY SEWER INFORMATION.
  - SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
  - SEE LANDSCAPE PLAN FOR FINAL SITE STABILIZATION.
  - SEE LANDSCAPE FOR RETAINING WALL FINISHES AND PRODUCT INFO.

Boarman  
 Kroos  
 Vogel  
 Group  
 Inc.

222 North Second Street  
 Minneapolis MN 55401  
 Telephone: 612-339-3752  
 Facsimile: 612-339-6212  
 www.bkvgroup.com  
 EOE

**CONSULTANTS**

**LOUCKS**  
 PLANNING  
 CIVIL ENGINEERING  
 LAND SURVEYING  
 LANDSCAPE ARCHITECTURE  
 ENVIRONMENTAL

7200 Hemlock Lane, Suite 300  
 Maple Grove, MN 55369  
 763-424-5505  
 www.loucksin.com

LOUCKS PROJECT NO. 05749.08

**PROJECT TITLE**

**WEST ST. PAUL FAMILY**

**OWNER/DEVELOPER**

**DOMINIUM**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1
	06/28/2020	SITE PLAN APPLICATION

**CERTIFICATION**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Michael J. St. Martin, PE*  
 Michael J. St. Martin, PE  
 24440  
 License Number 03/13/2020  
 Date

DATE 06/28/2020  
 DRAWN BY JBT  
 CHECKED BY SRT  
 COMMISSION NUMBER 05749.08



**WARNING:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

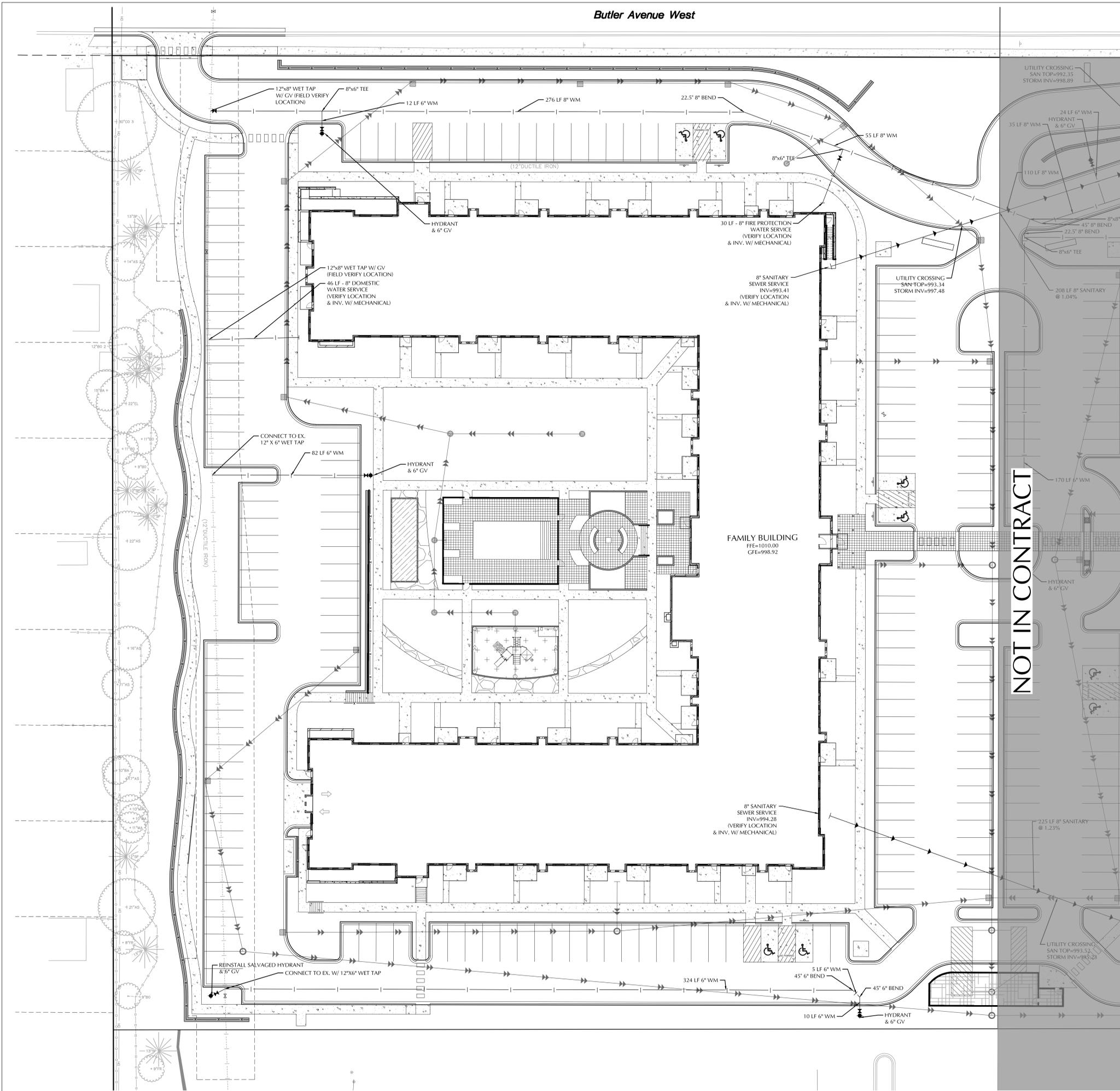
**GRADING PLAN**

**SHEET NUMBER**

**C3-1**

© 2016 BKV Group, Inc. EOE



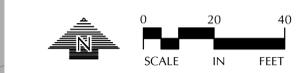


EXISTING	CIVIL LEGEND	PROPOSED
○	SANITARY MANHOLE	●
○	STORM MANHOLE	●
○	CATCH BASIN	○
○	CULVERT	○
○	HYDRANT	○
○	GATE VALVE	○
○	POST INDICATOR VALVE	○
○	LIGHT POLE	○
○	POWER POLE	○
○	SIGN	○
○	BENCHMARK	○
○	SOIL BORINGS	○
○	WATER MANHOLE	○
○	TELEPHONE MANHOLE	○
○	UTILITY MANHOLE	○
○	ELECTRIC MANHOLE	○
○	WATER SERVICE	○
○	SANITARY SERVICE	○
○	HANDICAP PARKING	○
○	DIRECTION OF FLOW	○
○	SPOT ELEVATION	○
○	CONTOURS	○
○	SANITARY SEWER	○
○	STORM SEWER	○
○	WATERMAIN	○
○	FOREMAN	○
○	DRAINAGE	○
○	SILT FENCE	○
○	CURB & GUTTER	○
○	RETAINING WALL	○
○	TRAILLINE	○
○	EXISTING LINE	○
○	SETBACK LINE	○
○	FENCE LINE	○
○	UNDERGROUND TELE	○
○	UNDERGROUND GAS	○
○	OVERHEAD UTILITY	○
○	UNDERGROUND FIBER OPTIC	○
○	UNDERGROUND ELECTRIC	○
○	UNDERGROUND CABLE TV	○
○	PROPERTY LINE	○
○	CONIFEROUS TREE	○
○	DECIDUOUS TREE	○
○	PARKING COUNTS	○

STRUCTURE TABLE						
NAME	TYPE	SIZE	RIM	BUILD	CASTING	NOTES
1	MH	48"	994.39	10.94'	R-1642	
2	MH	48"	1007.16	16.01'	R-1642	
3	MH	48"	1001.28	14.18'	R-1642	
4	MH	48"	1006.58	15.17'	R-1642	

**UTILITY NOTES**

- ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), LATEST EDITION.
- ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATERMAIN AND ALL OTHER UTILITIES UNLESS OTHERWISE NOTED.
- ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 8.0 FEET OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 8.0 FEET MINIMUM DEPTH CAN NOT BE ATTAINED.
- ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER WYES, TEES AND SERVICES SHALL BE SCH. 40 PVC.
- HYDRANT USE: CONTRACTOR IS RESPONSIBLE TO NOTIFY PUBLIC UTILITIES DEPARTMENT WHEN THEY NEED TO USE A HYDRANT; ONLY PRE-AUTHORIZED HYDRANTS WILL BE USED. HYDRANTS TO BE OPERATED ONLY WITH PROPER EQUIPMENT SUCH AS A HYDRANT NUT WRENCH, NOT A PIPE WRENCH. HYDRANT METER IS AVAILABLE FROM PUBLIC UTILITIES DEPARTMENT. ANY TRUCK, ETC. FILLED FROM A HYDRANT MUST BE METERED, MUST HAVE PHYSICAL BREAK OR BACK-FLOW PREVENTER APPROVED BY PUBLIC UTILITIES DEPARTMENT. ALSO APPLIES TO SUBCONTRACTORS.
- OPERATING VALVES FOR TURNING WATER MAIN ON/OFF: PUBLIC UTILITIES DEPARTMENT WILL OPERATE ALL VALVES AND FILL ALL WATER MAINS (PUBLIC AND PRIVATE). CONTRACTOR SHALL GIVE AT LEAST 24 HOURS NOTICE TO HAVE WATER SHUT OFF AND SHALL NOTIFY IN WRITING. ALL AFFECTED CUSTOMERS AT LEAST 24 HOURS IN ADVANCE BEFORE SHUT OFF; ATTACH TO DOOR, ETC., NOT IN MAILBOXES.
- TEMPORARY SERVICE: THE CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE IF SERVICE CANNOT BE RESTORED SAME DAY. IF USING HYDRANT FOR TEMPORARY SERVICE, NOTIFY PUBLIC UTILITIES DEPARTMENT AND USE ONLY PRE-APPROVED HYDRANT AND SUPPLIED HYDRO METER WITH BACK FLOW. THE CONTRACTOR'S TEMPORARY MAIN SHALL BE DISINFECTED, FLUSHED AND BACTERIOLOGICAL ANALYSIS SHOWN NEGATIVE PRIOR TO PUTTING THE TEMPORARY SYSTEM IN SERVICE. THE TEMPORARY WATER SYSTEM SHALL BE IN PLACE PRIOR TO THE PUBLIC UTILITIES DEPARTMENT SHUTTING OFF ANY WATER MAINS.
- ALL PROPOSED STRUCTURES SHALL HAVE FLEX SEAL INSTALLED ON THE ADJUSTING RINGS.
- SANITARY SEWER MATERIAL: PVC SDR 26
- WATERMAIN MATERIAL: PVC C900



**WARNING:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



**CONSULTANTS**

**LOUCKS**  
PLANNING  
CIVIL ENGINEERING  
LAND SURVEYING  
LANDSCAPE ARCHITECTURE  
ENVIRONMENTAL  
7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55369  
763-424-5505  
www.loucksinc.com

LOUCKS PROJECT NO. 05749.0B

**PROJECT TITLE**

**WEST ST. PAUL FAMILY**

**OWNER/DEVELOPER**



**ISSUE #**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1
	06/26/2020	SITE PLAN APPLICATION

**CERTIFICATION**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Michael J. St. Martin, PE*  
Michael J. St. Martin, PE

24440  
License Number 03/13/2020  
Date

DATE 06/26/2020  
DRAWN BY JBT  
CHECKED BY SRT  
COMMISSION NUMBER 05749.0B

**SHEET TITLE**

**SANITARY SEWER & WATERMAIN PLAN**

**SHEET NUMBER**

**C4-1**

**CONSULTANTS**

**PROJECT TITLE**

**WEST ST. PAUL  
FAMILY**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1



1 NORTH OVERALL ELEVATION  
A401 1/16" = 1'-0"



2 SOUTH OVERALL ELEVATION  
A401 1/16" = 1'-0"



3 EAST OVERALL ELEVATION  
A401 1/16" = 1'-0"

**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota

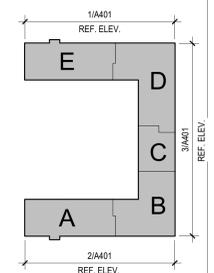
*Mike Krych*  
Mike Krych 6/25/2020  
23555 License Number Date  
DRAWN BY Author  
CHECKED BY Checker  
COMMISSION NUMBER 1393-161

**SHEET TITLE**

**EXTERIOR  
ELEVATIONS -  
REFERENCE**

**SHEET NUMBER**

**A401**



CONSULTANTS

PROJECT TITLE

WEST ST. PAUL  
FAMILY

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	IBD SET
A	05/12/2020	ADDENDUM #1



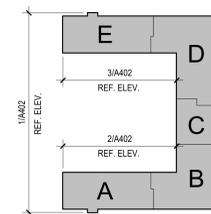
1 WEST OVERALL ELEVATION  
A402 1/16" = 1'-0"



2 NORTH OVERALL COURTYARD ELEVATION  
A402 1/16" = 1'-0"



3 SOUTH OVERALL COURTYARD ELEVATION  
A402 1/16" = 1'-0"



**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota

*Mike Krych*  
Mike Krych  
23555  
License Number  
6/25/2020  
Date

DRAWN BY: Author  
CHECKED BY: Checker  
COMMISSION NUMBER: 1393-161

SHEET TITLE

EXTERIOR  
ELEVATIONS -  
REFERENCE

SHEET NUMBER

A402



ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	IBD SET
A	05/12/2020	ADDENDUM #1

**EXTERIOR ELEVATION KEYNOTES**

- AE04 PREFINISHED BREAK METAL CAP, COLOR TO MATCH ADJACENT FRAME AND BODY
- AE08 PACU - PT. TO MATCH ADJACENT MATERIAL, TYP
- AE11 MASONRY AREA WELL, W/ CAST-STONE CAP, COLOR TBD
- AE12 METAL SHADING TRELLIS, PT. TO MATCH ADJACENT MATERIAL, TYP
- AE23 ROCKFACE CMU, DCMU-1 MATERIAL, TRANSITION, REF. DETAILS
- AE26 12" SOLDIER COURSE HEADER, FBR-1 TYP.
- AE27 4" ROWLOCK SILL, FBR-1, TYP
- AE29 SOLDIER COURSE, FBR-1 TYP.
- AE36 ENTRY METAL CANOPY, COLOR TBD
- AE37 PROTRUDING PREFINISHED METAL COPING TO MATCH LAP SIDING COLOR, TYP.
- AE38 ELECTRICAL LIGHTING, TYP. REFER TO ELECTRICAL SHEETS
- AE39 EXPOSED CMU AT AREA WALLS AND GAS METERS ACCESS TO BE DCMU-1
- AE40 BALCONY, TYP.
- AE41 REFER TO CIVIL FOR GRADE
- AE42 PREFINISHED METAL COPING TO MATCH PANEL COLOR AND FASCIA, TYP.

**EXTERIOR MATERIAL LEGEND**

-  FBR-1 FACE BRICK MASONRY VENEER, SAME FOR SILL AND SOLDIER COURSE
-  FBR-2 FACE BRICK "ACCENT" MASONRY VENEER
-  DCMU-1 DCMU-1
-  FSDG-1-1 LAP SIDING 8" - XPT-1
-  FSDG-1-2 LAP SIDING 8" - XPT-2
-  FSDG-1-3 LAP SIDING 8" - XPT-3
-  FSDG-1-4 LAP SIDING 8" - DARK GRAY - XPT-4 **COLOR OMITTED**
-  FSDG-2-3 LAP SIDING 4" 18" - XPT-3
-  FSDG-3-3 PANEL SIDING - XPT-3
-  FSDG-4-3 TRIM BOARDS - XPT-3
-  FSDG-4-4 TRIM BOARDS - DARK MEDIUM GREY - XPT-6 **COLOR OMITTED**

GENERAL NOTE: ALL FIBER CEMENT SIDING TO BE FIELD PAINTED

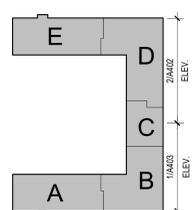


**1 EAST AREA B ELEVATION**  
1/8" = 1'-0"



**2 EAST AREA D ELEVATION**  
1/8" = 1'-0"

NOTE:  
REFERENCE ELECTRICAL SHEETS FOR ALL  
EXTERIOR LIGHTING FIXTURES. LOCATIONS  
TO BE FINALIZED IN FUTURE ISSUANCE,  
TYPICAL



**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota

*Mike Krych*  
Mike Krych 6/25/2020  
23555 License Number Date  
DRAWN BY: JI  
CHECKED BY: Checker  
COMMISSION NUMBER: 1393-161  
**SHEET TITLE**

**EXTERIOR  
ELEVATIONS**

**SHEET NUMBER**

**A404**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	IBD SET
A	05/12/2020	ADDENDUM #1

**EXTERIOR ELEVATION KEYNOTES**

- AE04 PREFINISHED BREAK METAL CAP, COLOR TO MATCH ADJACENT FRAME AND BODY
- AE08 PACU - PT. TO MATCH ADJACENT MATERIAL, TYP
- AE11 MASONRY AREA WELL W/ CAST-STONE CAP, COLOR TBD
- AE12 METAL SHADING TRELLIS, PT. TO MATCH ADJACENT MATERIAL, TYP
- AE23 ROCKFACE CMU, DCMU-1 MATERIAL TRANSITION, REF. DETAILS
- AE26 12" SOLDIER COURSE HEADER, FBR-1 TYP.
- AE27 4" ROWLOCK SILL, FBR-1, TYP
- AE36 ENTRY METAL CANOPY, COLOR TBD
- AE37 PROTRUDING PREFINISHED METAL COPING TO MATCH LAP SIDING COLOR, TYP.
- AE38 ELECTRICAL LIGHTING, TYP. REFER TO ELECTRICAL SHEETS
- AE39 EXPOSED CMU AT AREA WELLS AND GAS METERS ACCESS TO BE DCMU-1
- AE41 REFER TO CIVIL FOR GRADE
- AE42 PRE-FINISHED METAL COPING TO MATCH PANEL COLOR AND FASCIA, TYP.

**EXTERIOR MATERIAL LEGEND**

- FBR-1 FACE BRICK MASONRY VENEER SAME FOR SILL AND SOLDIER COURSE
- FBR-2 FACE BRICK "ACCENT" MASONRY VENEER
- DCMU-1 DCMU-1
- FSDG-1-1 LAP SIDING 6" - XPT-1
- FSDG-1-2 LAP SIDING 6" - XPT-2
- FSDG-1-3 LAP SIDING 6" - XPT-3
- FSDG-1-4 LAP SIDING 6" - DARK GRAY, XPT-4 COLOR OMITTED
- FSDG-2-3 LAP SIDING 18" - XPT-3
- FSDG-3-3 PANEL SIDING - XPT-3
- FSDG-4-3 TRIM BOARDS - XPT-3
- FSDG-4-5 TRIM BOARDS - DARK MEDIUM GREY, XPT-5 COLOR OMITTED

GENERAL NOTE: ALL FIBER CEMENT SIDING TO BE FIELD PAINTED



1 NORTH AREA D ELEVATION  
A405 1/8" = 1'-0"

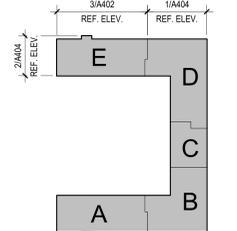


2 WEST AREA E WING ELEVATION  
A405 1/8" = 1'-0"



3 NORTH AREA ELEVATION  
A405 1/8" = 1'-0"

NOTE: REFERENCE ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING FIXTURES. LOCATIONS TO BE FINALIZED IN FUTURE ISSUANCE, TYPICAL

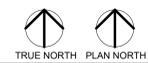


**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota

Mike Krych  
23555  
License Number  
6/25/2020  
Date  
DRAWN BY: JI  
CHECKED BY: JI  
COMMISSION NUMBER: 1393-161

**SHEET TITLE**  
**EXTERIOR ELEVATIONS**

**SHEET NUMBER**  
**A405**



ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	IBD SET
A	05/12/2020	ADDENDUM #1

**EXTERIOR ELEVATION KEYNOTES**

- AE04 PREFINISHED BREAK METAL CAP, COLOR TO MATCH ADJACENT FRAME AND BODY
- AE08 PACU - PT TO MATCH ADJACENT MATERIAL, TYP
- AE12 METAL SHADING TRELLIS, PT TO MATCH ADJACENT MATERIAL, TYP
- AE23 ROCKFACE CMU, DCMU-1 MATERIAL, TRANSITION, REF. DETAILS
- AE26 12" SOLDIER COURSE HEADER, FBR-1, TYP
- AE27 4" ROWLOCK SILL, FBR-1, TYP
- AE36 ENTRY METAL CANOPY, COLOR TBD
- AE37 PROTRUDING PREFINISHED METAL COPINGS TO MATCH LAP SIDING COLOR, TYP.
- AE38 ELECTRICAL LIGHTING, TYP. REFER TO ELECTRICAL SHEETS
- AE39 EXPOSED CMU AT AREA WELLS AND GAS METERS ACCESS TO BE DCMU-1
- AE41 REFER TO CIVIL FOR GRADE

**EXTERIOR MATERIAL LEGEND**

- FBR-1 FACE BRICK MASONRY VENEER, SAME FOR SILL AND SOLDIER COURSE
- FBR-2 FACE BRICK "ACCENT" MASONRY VENEER
- DCMU-1 DCMU-1
- FSDG-1-1 LAP SIDING 8" - XPT-1
- FSDG-1-2 LAP SIDING 8" - XPT-2
- FSDG-1-3 LAP SIDING 8" - XPT-3
- FSDG-1-4 LAP SIDING 8" - DARK GRAY - XPT-4 COLOR OMITTED
- FSDG-3-3 LAP SIDING 4" 18" - XPT-3
- FSDG-3-3 PANEL SIDING - XPT-3
- FSDG-4-3 TRIM BOARDS - XPT-3
- FSDG-4-5 TRIM BOARDS - DARK MEDIUM GREY - XPT-5 COLOR OMITTED

GENERAL NOTE: ALL FIBER CEMENT SIDING TO BE FIELD PAINTED

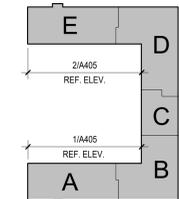


**1 NORTH COURTYARD ELEVATION**  
A406 1/8" = 1'-0"



**2 SOUTH COURTYARD ELEVATION**  
A406 1/8" = 1'-0"

**NOTE:**  
REFERENCE ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING FIXTURES. LOCATIONS TO BE FINALIZED IN FUTURE ISSUANCE, TYPICAL



**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota

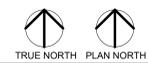
Mike Krych  
23555 License Number 6/25/2020 Date  
DRAWN BY: JI  
CHECKED BY: Checker  
COMMISSION NUMBER: 1393-161  
**SHEET TITLE**

**EXTERIOR ELEVATIONS**

**SHEET NUMBER**

**A406**

© 2020 BKV Group



ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	IBD SET
A	05/12/2020	ADDENDUM #1

**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota

*Mike Krych*  
Mike Krych 6/25/2020  
23555 License Number Date  
DRAWN BY JI  
CHECKED BY Checker  
COMMISSION NUMBER 1393-161

SHEET TITLE

**EXTERIOR  
ELEVATIONS**

SHEET NUMBER

**A407**

© 2020 BKV Group

**EXTERIOR ELEVATION KEYNOTES**

AE04	PREFINISHED BREAK METAL CAP, COLOR TO MATCH ADJACENT FRAME AND BODY
AE08	PACU - PT. TO MATCH ADJACENT MATERIAL, TYP
AE12	METAL SHADING TRELLIS, PT. TO MATCH ADJACENT MATERIAL, TYP
AE23	ROCKFACE CMU, DCMU-1 MATERIAL TRANSITION, REF. DETAILS
AE26	12" SOLDIER COURSE HEADER, FBR-1 TYP.
AE27	4" ROWLOCK SILL, FBR-1, TYP.
AE36	ENTRY METAL CANOPY, COLOR T80
AE37	PROTRUDING PREFINISHED METAL COPINGS TO MATCH LAP SIDING COLOR, TYP.
AE38	ELECTRICAL LIGHTING, TYP. REFER TO ELECTRICAL SHEETS



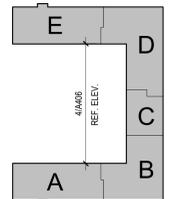
**EXTERIOR MATERIAL LEGEND**

	FBR-1	FACE BRICK MASONRY VENEER, SAME FOR SILL AND SOLDIER COURSE
	FBR-2	FACE BRICK 'ACCENT' MASONRY VENEER
	DCMU-1	DCMU-1
	FSDG-1-1	LAP SIDING 6" - XPT-1
	FSDG-1-2	LAP SIDING 6" - XPT-2
	FSDG-1-3	LAP SIDING 6" - XPT-3
	FSDG-1-4	LAP SIDING 6" - DARK GRAY, XPT-4 <b>COLOR OMITTED</b>
	FSDG-2-3	LAP SIDING 4"8" - XPT-3
	FSDG-3-3	PANEL SIDING - XPT-3
	FSDG-4-3	TRIM BOARDS - XPT-3
	FSDG-4-5	TRIM BOARDS - DARK MEDIUM GREY, XPT-5 <b>COLOR OMITTED</b>

GENERAL NOTE: ALL FIBER CEMENT SIDING TO BE FIELD PAINTED

**WEST COURTYARD ELEVATION**  
1/8" = 1'-0"

**NOTE:**  
REFERENCE ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING FIXTURES. LOCATIONS TO BE FINALIZED IN FUTURE ISSUANCE, TYPICAL



CONSULTANTS

PROJECT TITLE

**WEST ST. PAUL  
FAMILY**

ISSUE #	DATE	DESCRIPTION
A	06/12/2020	ADDENDUM #1
B	07/01/2020	ADDENDUM #2

**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota

*Mike Krych*  
Mike Krych 6/25/2020  
23555 License Number Date  
DRAWN BY: JI  
CHECKED BY: Checker  
COMMISSION NUMBER: 1393-161

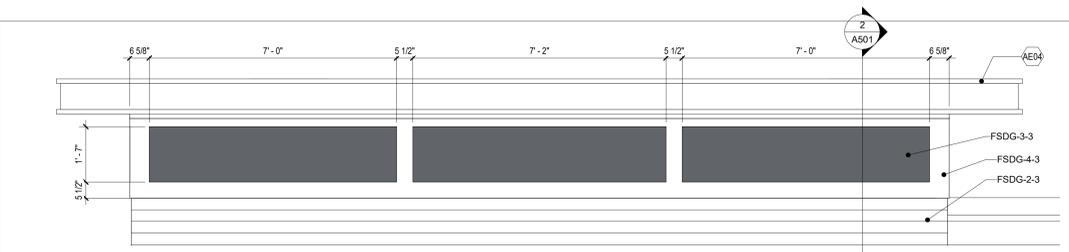
**SHEET TITLE**  
**ENLARGED  
EXTERIOR  
ELEVATIONS**

SHEET NUMBER

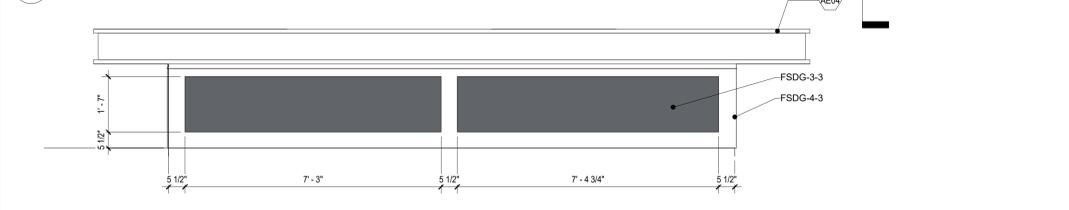
**A408**

REFERENCE EXTERIOR ELEVATION A400  
SHEETS FOR EXTERIOR MATERIAL  
LEGEND

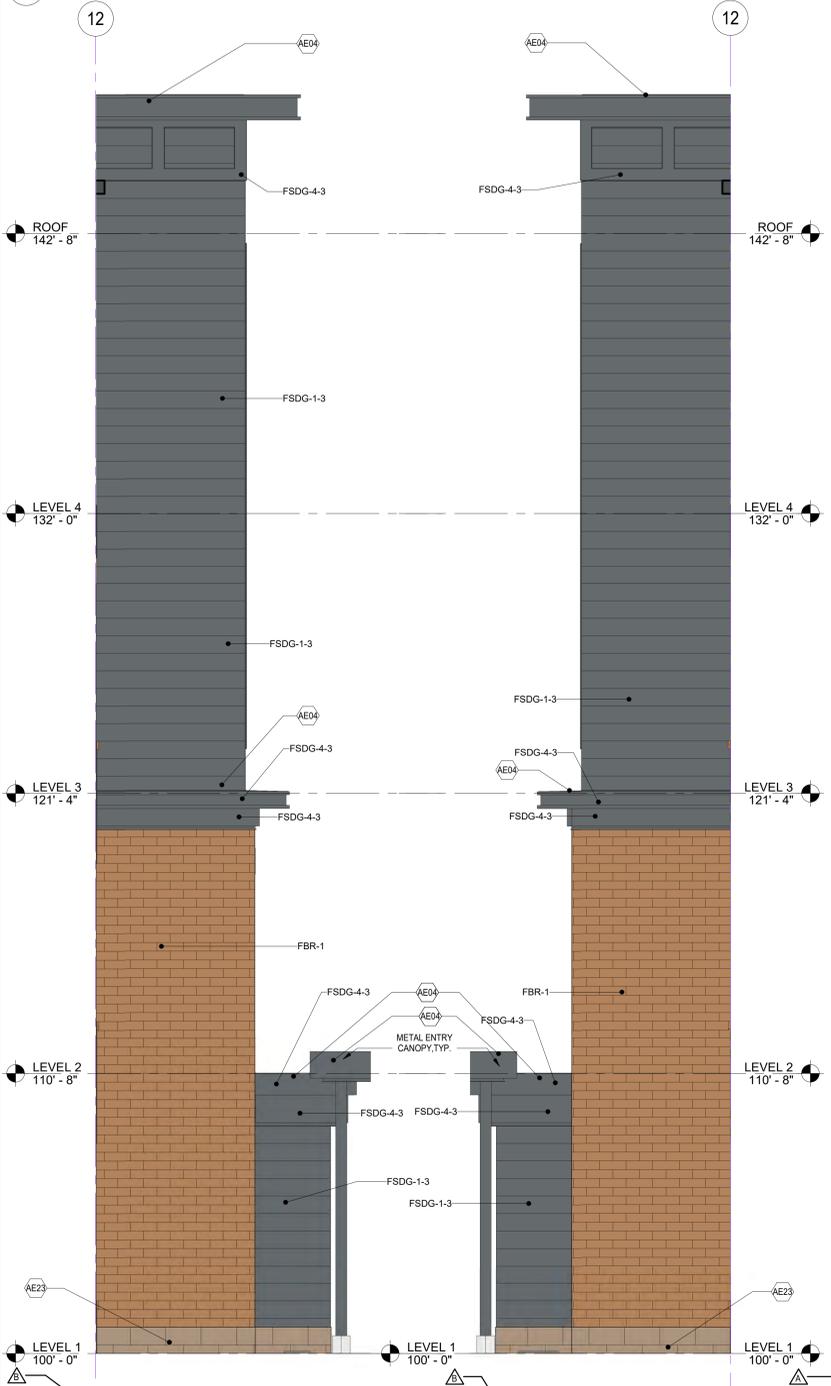
**EXTERIOR ELEVATION KEYNOTES**  
AE04 PREFINISHED BREAK METAL CAP, COLOR TO MATCH ADJACENT FRAME AND BODY  
AE23 ROCKFACE CMU, DCMU-1 MATERIAL TRANSITION, REF. DETAILS  
AE26 12" SOLDIER COURSE HEADER, FBR-1 TYP.  
AE29 SOLDIER COURSE, FBR-1 TYP.



1 SOUTH AREA HIGH ROOF TYP. TRIM ELEVATION  
A408 1/2" = 1'-0"



2 WEST AREA A HIGH ROOF TYP. TRIM ELEVATION  
A408 1/2" = 1'-0"

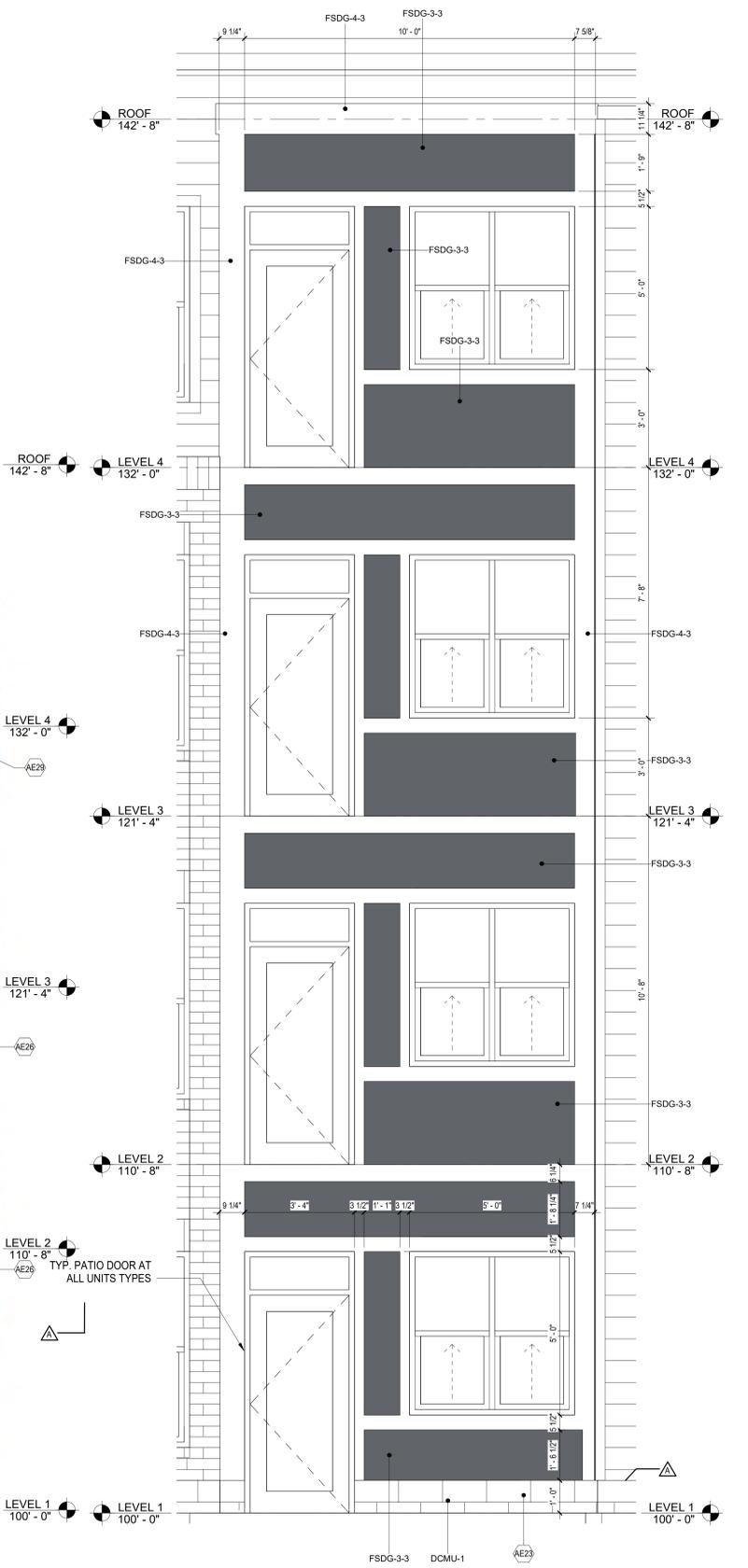


3 ENLARGED FRONT ENTRY - SOUTH ELEVATION  
A408 3/8" = 1'-0"

4 ENLARGED FRONT ENTRY - NORTH ELEVATION  
A408 3/8" = 1'-0"



5 ENLARGED FRONT ENTRY  
A408 3/8" = 1'-0"



6 ENLARGED TYPICAL TRIM ELEVATION  
A408 1/2" = 1'-0"

BIM 360/11393 West Saint Paul/1393-161 West St Paul Family\_A1\_2019.rvt  
6/25/2020 2:49:35 PM

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1

**GENERAL NOTES**

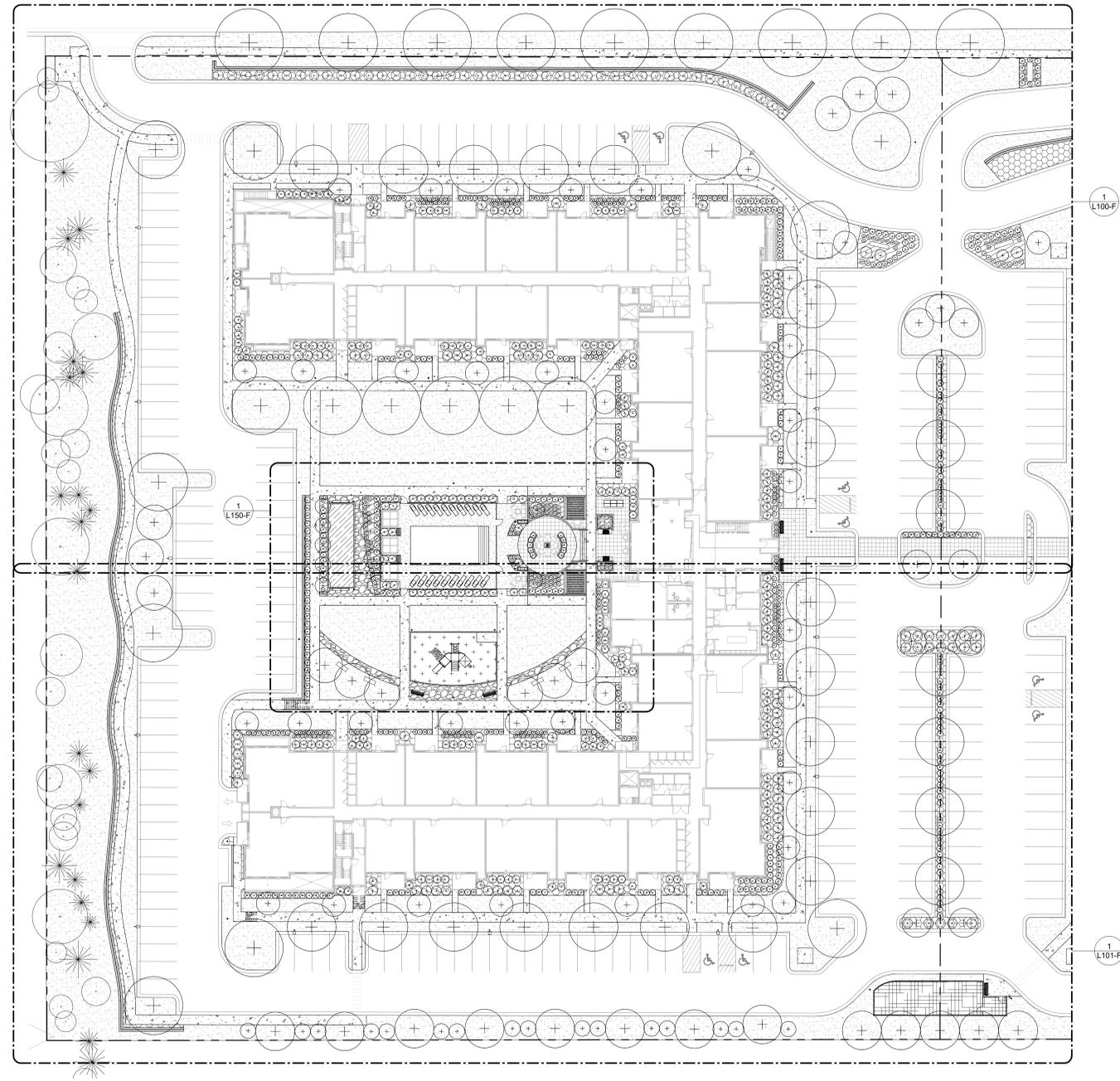
- LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- LANDSCAPE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.
- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.
- LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION MATERIAL INSTALLATION BEGINS (MINIMUM 10'-0" CLEARANCE).
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. LANDSCAPE CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
- ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN THE ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWING(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.
- NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- SOD AREAS DISTURBED DUE TO GRADING SHALL BE REPLACED, UNLESS NOTED OTHERWISE.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAD PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- PROPOSED PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO Y" CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 5 FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6 FEET ABOVE FINISHED GRADE.
- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL WARRANT NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF THE OWNER ACCEPTANCE. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
- PLANTING AREAS (NOT OVER STRUCTURE) RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 18" DEPTH OF PLANTING SOIL, CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS SCREENED COMPOST OR MANURE AND 10 PARTS SAND.
- ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER.
- SHRUB BED MASSINGS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH FIBER MAT WEED BARRIER.
- STEEL EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS AND ANNUALS WHERE PLANTING BED MEETS SOD UNLESS OTHERWISE NOTED.
- REFER TO CIVIL FOR SITE DEMOLITION INFORMATION.
- REFER TO CIVIL FOR ADDITIONAL SITE GRADING AND UTILITY INFORMATION.
- IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS SHOWN IN THE PLANT MATERIALS SCHEDULE AND THE PLANS, THE PLANS SHALL GOVERN.
- CONTRACTOR SHALL STAKE OUT LOCATION OF ALL PROPOSED TREES FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

**IRRIGATION NOTES**

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A PERFORMANCE IRRIGATION PLAN AND SPECIFICATIONS AS PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT SOD/SEED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.
- SHRUB & PERENNIAL BEDS TO BE IRRIGATED WITH DRIP IRRIGATION. SOD TO BE IRRIGATED WITH SPRAY.
- LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WATERING/LAWN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIALS GROWTH REQUIREMENTS.
- LANDSCAPE CONTRACTOR SHALL INSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL PLANTING AREAS.
- COORDINATE IRRIGATION SLEEVING LOCATIONS WITH GENERAL CONTRACTOR.
- RAIN SENSORS TO BE INCLUDED WITHIN THE IRRIGATION DESIGN.
- IRRIGATION LIMITS TO EXTEND TO STREET BACK OF CURB.

**SURVEY NOTES**

- ALL EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE BASED ON AN OWNER-FURNISHED SURVEY. BKV GROUP OFFERS NO GUARANTEE, EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OR RELIABILITY OF THE INDICATED EXISTING CONDITIONS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL CRITICAL EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO, EXISTING BUILDING LOCATIONS, UTILITY LOCATIONS AND INVERT ELEVATIONS, AND EXISTING SITE GRADES PRIOR TO THE START OF WORK.
- ANY OBSERVED DEVIATIONS FROM CONDITIONS INDICATED ON THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT OR LANDSCAPE ARCHITECT'S ATTENTION IMMEDIATELY UPON DISCOVERY. NO WORK SHALL PROCEED IN THE AREAS OF ANY DISCOVERED DEVIATIONS UNTIL THE DIFFERENCES ARE RESOLVED.



**SITE - LANDSCAPE REFERENCE PLAN**  
1 L101-F 1" = 30'-0"

**SHEET INDEX:**

SHEET NUMBER	SHEET NAME	PERMIT SET - 03/13/2020	BID SET - 04/14/2020	ADDENDUM #1 - 05/12/2020	ADDENDUM #2 - 06/25/2020	ISSUE 05	ISSUE 06
1	GENERAL INFORMATION						
L001-F	LANDSCAPE TITLE SHEET	X	X	X			
3	STANDARD SHEETS						
L100-F	SITE - LANDSCAPE PLAN NORTH	X	X	X	X		
L101-F	SITE - LANDSCAPE PLAN SOUTH	X	X	X	X		
L102-F	SITE - PLANTING PLAN NORTH	X	X	X	X		
L103-F	SITE - PLANTING PLAN SOUTH	X	X	X	X		
L150-F	COURTYARD - LANDSCAPE PLAN	X	X	X			
L151-F	COURTYARD - PLANTING PLAN	X	X	X			
L200-F	SITE - LAYOUT & SURFACING PLAN NORTH	X	X	X			
L201-F	SITE - LAYOUT & SURFACING PLAN SOUTH	X	X	X			
L202-F	COURTYARD - LAYOUT AND SURFACING PLAN	X	X	X			
L300-F	LANDSCAPE DETAILS	X	X	X	X		
L301-F	LANDSCAPE DETAILS	X	X	X	X		

**CERTIFICATION**

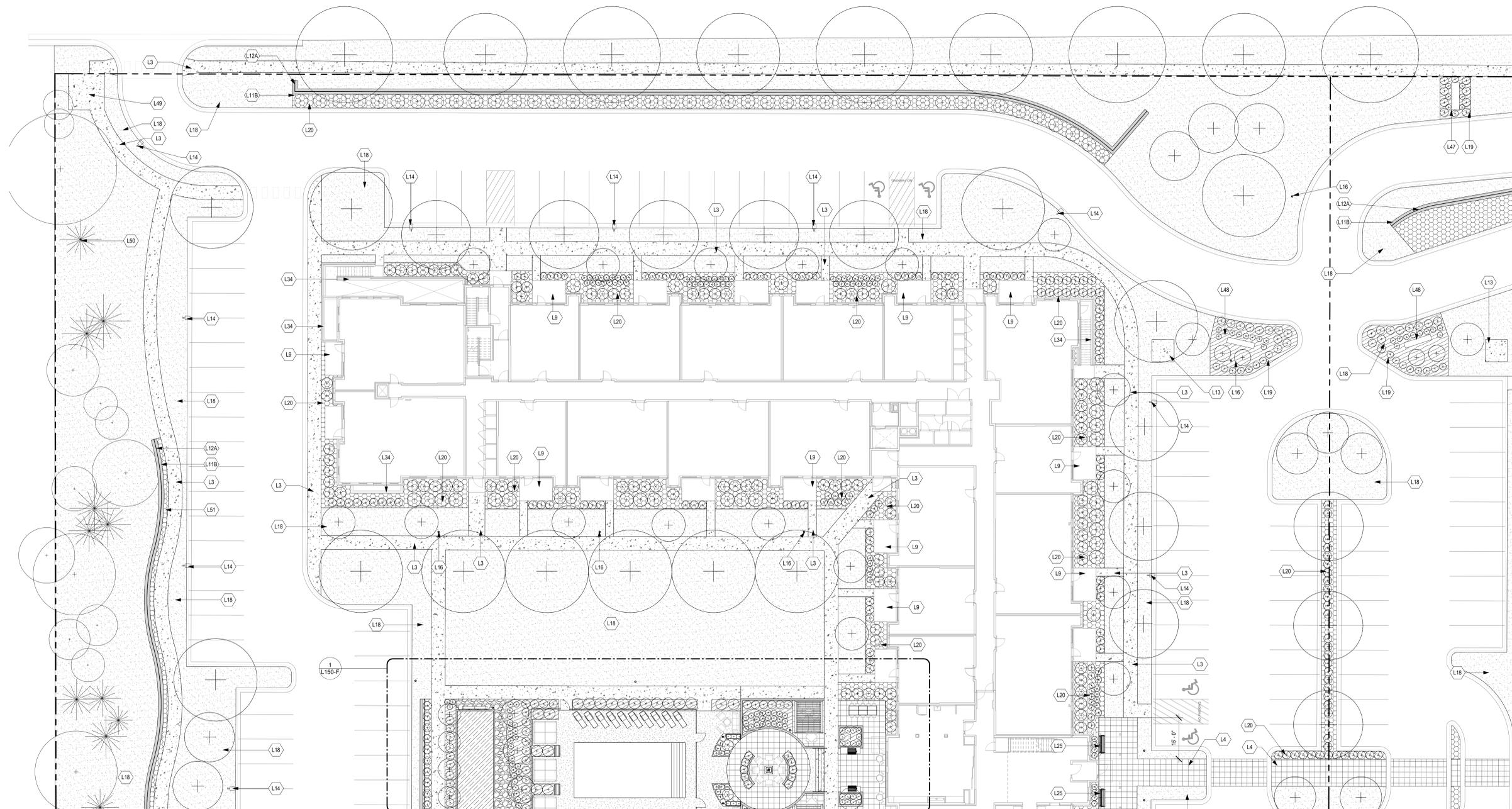
DRAWN BY: SB  
CHECKED BY: BH  
COMMISSION NUMBER: 1393-161  
**SHEET TITLE**

**LANDSCAPE  
TITLE SHEET**

**SHEET NUMBER**

**L001-F**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1
B	07/01/2020	ADDENDUM #2

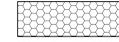
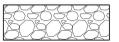


**1 FAMILY SITE - LANDSCAPE PLAN NORTH**  
L100-F 1/16" = 1'-0"

**KEY NOTES:**

- L3 C.I.P. PLAIN CONCRETE WALK, SEE CIVIL
- L4 C.I.P. COLORED CONCRETE (A), CEMSTONE 'HARBOR MIST' CPC 1024', JOINTING PER LAYOUT AND SURFACING PLAN, 3/8" SAWN JOINTS, SEE SPEC.
- L9 PRIVATE PATIO, C.I.P. PLAIN CONC., SEE ARCH. FOR STOOP CONNECTION
- L11B BIG BLOCK RETAINING WALL (B), RECON LESEUR COUNTY LIMESTONE, STAIN TO BE SELECTED THROUGH SUBMITTAL PROCESS, SEE CIVIL FOR TOP AND BOTTOM WALL ELEVATIONS, INSTALLED PER MANUFACT. SPEC(S)
- L12A 4" ALUMINUM PICKET FENCE (A), AMERISTAR MONTAGE PLUS MAJESTIC STYLE', BLACK POWDERCOATED FINISH, SURFACE MOUNTED TO THE TOP OF BIG BLOCK WALL PER MANUFACT. SPEC(S)
- L13 ELECTRICAL EQUIPMENT PAD, SEE CIVIL
- L14 STREET LIGHTING, SET 2' FROM BACK OF CURB WHERE APPLICABLE, SEE ELEC.
- L16 EXTERIOR PEDESTRIAN POLE LIGHTING, SEE ELEC.
- L18 TURF GRASS, SOD, INCLUDING IRRIGATION, SEE SPEC
- L19 PLANTING BED, HARDWOOD MULCH, 4" DEPTH, PROVIDE AUTOMATED DRIP IRRIGATION AND STEEL LANDSCAPE EDGER, SEE 1 AND 2L300-F
- L20 PLANTING BED, ROCK MULCH, TRAP ROCK 3/8" CLEAN W/FABRIC UNDERLAYMENT, 4" MIN., PROVIDE AUTOMATED DRIP IRRIGATION AND STEEL LANDSCAPE EDGER, SEE 1 AND 2L300-F
- L25 BENCH (A), 'HARPO' BY LANDSCAPE FORMS, 60" BACKED WIDE WOOD, DSTMA SEAT, WHITE POWDERCOATED FRAME, INSTALLED PER MANUFACT. SPEC(S), (5 TOTAL UNITS)
- L34 AREA WELL, SEE ARCH.
- L47 MONUMENT SIGN, SEE A015 FOR BASE, SIGNAGE INSERT BY SIGNAGE VENDOR
- L48 DIRECTIONAL SIGNAGE, SEE A015 FOR BASE, SIGNAGE INSERT BY SIGNAGE VENDOR
- L49 BUS STOP LOCATION, SEE CIVIL
- L50 EXISTING TREES, TO REMAIN PROTECT THROUGH CONSTRUCTION, SEE CIVIL
- L51 ROCK MULCH, TRAP ROCK 3/8" CLEAN W/FABRIC UNDERLAYMENT, 4" MIN.

**GRAPHIC LEGEND:**

**CERTIFICATION**

DRAWN BY	SB
CHECKED BY	BH
COMMISSION NUMBER	1393-161

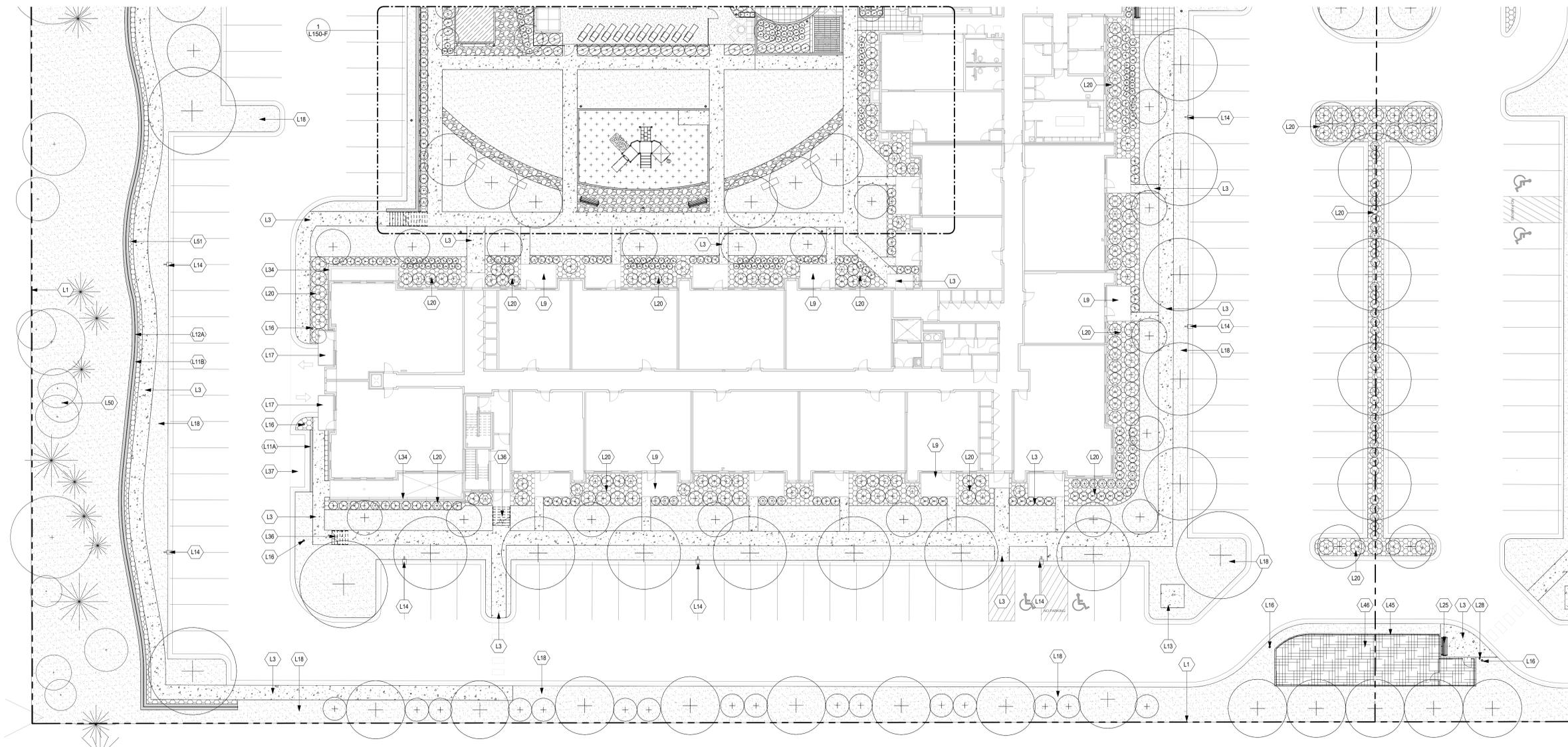
**SHEET TITLE**

**SITE -  
LANDSCAPE  
PLAN NORTH**

**SHEET NUMBER**

**L100-F**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1
B	07/01/2020	ADDENDUM #2



1 FAMILY SITE - LANDSCAPE PLAN SOUTH  
L101-F 1/16" = 1'-0"

**KEY NOTES:**

- L1 PROPERTY LINE
- L3 C.I.P. PLAIN CONCRETE WALK; SEE CIVIL
- L9 PRIVATE PATIO, C.I.P. PLAIN CONC. SEE ARCH. FOR STOOP CONNECTION
- L11A SEGMENTAL BLOCK RETAINING WALL (A), ANCHOR BLOCK 'DIAMOND' STRAIGHT FACE, GRAY COLOR, SEE CIVIL FOR TOP AND BOTTOM WALL ELEVATIONS, SEE 7L300-F
- L11B BIG BLOCK RETAINING WALL (B), RECON LESSEUR COUNTY LIMESTONE, STAIN TO BE SELECTED THROUGH SUBMITTAL PROCESS, SEE CIVIL FOR TOP AND BOTTOM WALL ELEVATIONS, INSTALLED PER MANUFACT. SPEC(S)
- L12A 4" ALUMINUM PICKET FENCE (A), AMERISTAR MONTAGE PLUS MAJESTIC STYLE, BLACK POWDERCOATED FINISH, SURFACE MOUNTED TO THE TOP OF BIG BLOCK WALL PER MANUFACT. SPEC(S)
- L13 ELECTRICAL EQUIPMENT PAD, SEE CIVIL
- L14 STREET LIGHTING, SET 2' FROM BACK OF CURB WHERE APPLICABLE, SEE ELEC.
- L16 EXTERIOR PEDESTRIAN POLE LIGHTING, SEE ELEC.
- L17 RAISED UNIT DECKS, SEE ARCH.
- L18 TURF GRASS, SOD, INCLUDING IRRIGATION, SEE SPEC
- L20 PLANTING BED, ROCK MULCH, TRAP ROCK 3/8" CLEAN W/FABRIC UNDERLAYMENT, 4" MIN. PROVIDE AUTOMATED DRIP IRRIGATION AND STEEL LANDSCAPE EDGER, SEE 1 AND 2L300-F
- L25 BENCH (A), 'HARPO' BY LANDSCAPE FORMS, 60" BACKED WIDE WOOD, DSTMA SEAT, WHITE POWDERCOATED FRAME, INSTALLED PER MANUFACT. SPEC(S), (5 TOTAL UNITS)
- L28 DOGPOUT, DOG WASTE STATION WITH ONE PUL BAG SYSTEM DEPOT-022-B, BLACK FINISH, INSTALLED PER MANUFACT. SPEC(S), (1 TOTAL UNITS)
- L34 AREA WELL, SEE ARCH.
- L36 C.I.P. PLAIN CONCRETE EXTERIOR STAIR, SEE STRUCTURAL FOR REINFORCING, RAILINGS TO MATCH UNIT BALCONIES, SEE ARCH
- L37 TRASH STORAGE AREA, SEE CIVIL
- L45 4" DOG RUN FENCE, BLACK VINYL COATED CHAINLINK MESH, POSTS, AND HARDWARE, INSTALLED PER MANUFACT. SPEC(S)
- L46 DOG RUN, 3/8" PEA GRAVEL PLUS FINES, 4" MIN. DEPTH, INCLUDE FILTER FABRIC UNDERLAYMENT
- L50 EXISTING TREES, TO REMAIN PROTECT THROUGH CONSTRUCTION, SEE CIVIL
- L51 ROCK MULCH, TRAP ROCK 3/8" CLEAN W/FABRIC UNDERLAYMENT, 4" MIN.

**GRAPHIC LEGEND:**

STANDARD GRAY CONCRETE, BROOM FINISHED, TYP.	CIP COLORED CONCRETE (A), BROOM FINISHED, CEMENTONE HARBOR MST CPC-102L	CIP COLORED CONCRETE (B), BROOM FINISHED, CEMENTONE NORICHELLA GOLD CPC-144L
ROCK MULCH, 3/8" TRAP ROCK, CLEAN, INCLUDE FILTER FABRIC UNDERLAYMENT	BITUMINOUS PATH, SEE CIVIL	TURFGRASS, SOD, IRRIGATED, TYP.
HARDWOOD MULCH, SHREDED, TYP.	SYNTHETIC TURF, SYNLAWN AUGUSTINE 4" 4"	CRUSHED ROCK SURFACING, 3/8" TRAP ROCK WITH FINES
DOG RUN, 3/8" PEA GRAVEL PLUS FINES, 4" MIN. DEPTH		

CERTIFICATION

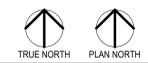
DRAWN BY	SB
CHECKED BY	BH
COMMISSION NUMBER	1393-161

SHEET TITLE

**SITE -  
LANDSCAPE  
PLAN SOUTH**

SHEET NUMBER

**L101-F**



Boarman  
Kroos  
Vogel  
Group  
Inc.

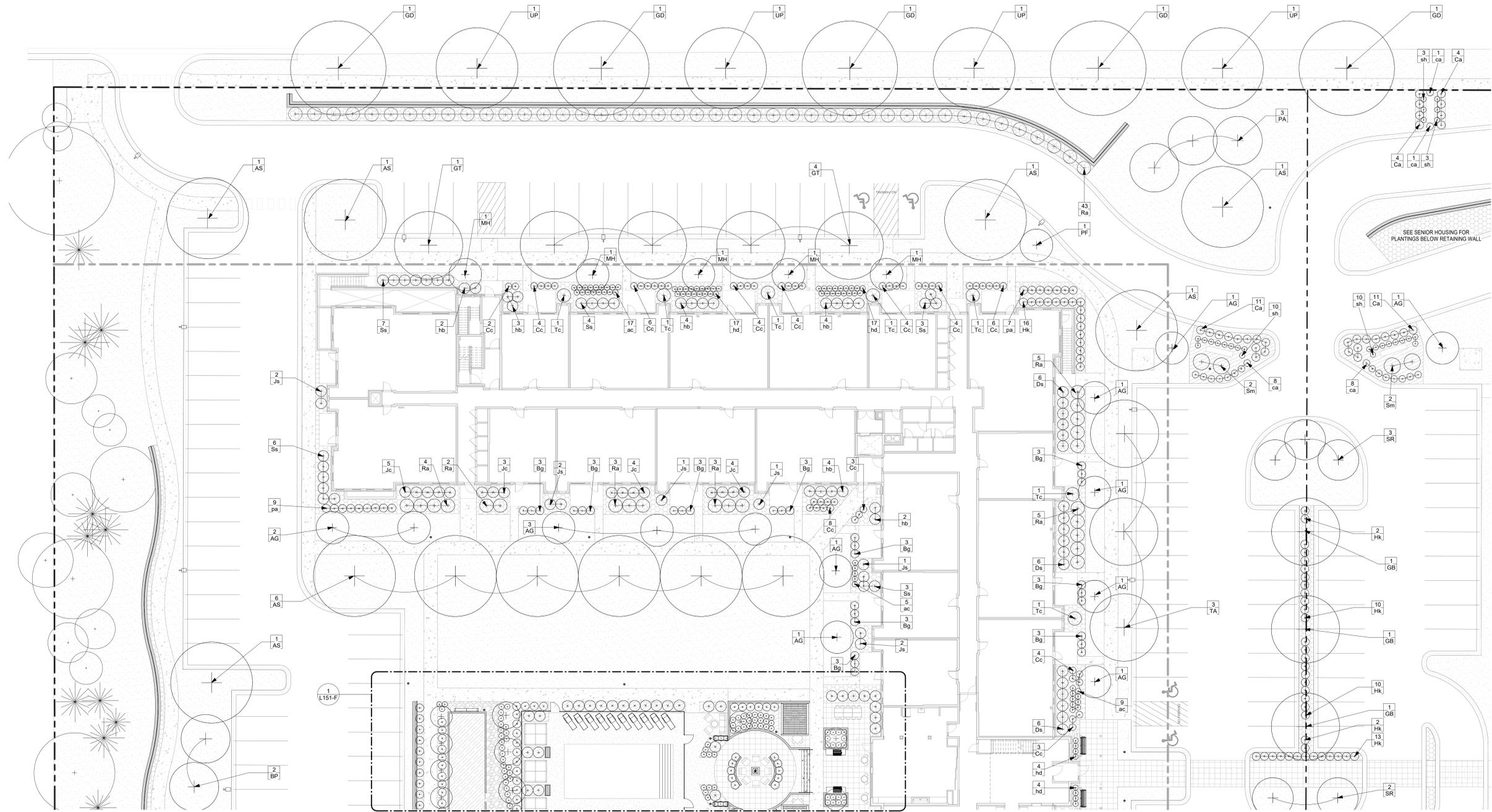
222 North Second Street  
Long & Kees Bldg, Suite 101  
Minneapolis, MN 55401  
Telephone: 612.339.3752  
www.bkvgroup.com  
EOE

CONSULTANTS

PROJECT TITLE

**WEST SAINT  
PAUL FAMILY**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1
B	07/01/2020	ADDENDUM #2



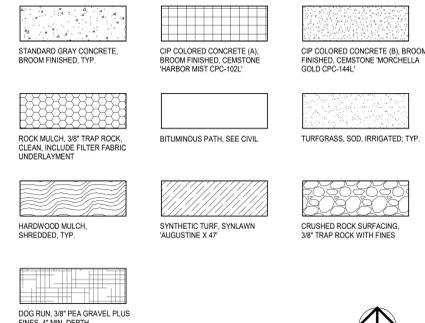
**1 FAMILY SITE - PLANTING PLAN NORTH**  
L102-F 1/16" = 1'-0"

**PROPOSED PLANT SCHEDULE:**

QTY	SYM	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE
<b>PERENNIALS/BIENNIALS</b>				
42	ca	MAGGIE DALEY ASTILBE	<i>Astilbe chinensis 'Maggie Daley'</i>	#1 CONT.
18	ca	KARL FORESTER GRASS	<i>Calamagrostis x acutiflora 'Karl Forester'</i>	#1 CONT.
34	hb	BLUE ANGEL HOSTA	<i>Hosta 'Blue Angel'</i>	#1 CONT.
93	hd	DESIGNER GENES HOSTA	<i>Hosta 'Designer Genes'</i>	#1 CONT.
23	hn	HAPPY RETURNS DAIVLY	<i>Hemerocallis 'Happy Returns'</i>	#1 CONT.
80	pa	BLUE JEAN BABY RUSSIAN SAGE	<i>Perovskia atropurpurea 'Blue Jean Baby'</i>	#1 CONT.
131	sh	PRAIRIE DROPSSEED	<i>Sporobolus heterolepis</i>	#1 CONT.
<b>ORNAMENTAL TREES</b>				
28	AG	AUTUMN BRILLIANCE SERVICEBERRY	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	2" CAL.
5	MH	HARVEST GOLD CRABAPPLE	<i>Malus 'Harvest Gold'</i>	2" CAL.
4	PF	KOREAN SUN PEAR	<i>Pyrus fauriei 'Westwood'</i>	2" CAL.
16	PJ	MOUNTAIN SENTINEL ASPEN	<i>Populus tremuloides 'JFS-column'</i>	#15 CONT.
18	SR	IVORY SILK JAPANESE TREE LILAC	<i>Syringa reticulata 'Ivory Silk'</i>	2" CAL.
<b>DECIDUOUS TREES</b>				
16	AS	FALL FIESTA SUGAR MAPLE	<i>Acer saccharum 'Balleta'</i>	2.5" CAL.
4	BP	DAKOTA PINNACLE BIRCH	<i>Betula platyphylla 'Fargo'</i>	2.5" CAL.
9	BP	WHITESPIRE BIRCH (CLUMP)	<i>Betula populifolia 'Whitespire'</i>	2.5" CAL.
7	GB	AUTUMN GOLD GINKGO	<i>Ginkgo biloba 'Autumn Gold'</i>	2.5" CAL.
5	GD	KENTUCKY COFFEE TREE	<i>Gymnocladia dioica 'Espresso'</i>	2.5" CAL.
12	GT	SKYLINE HONEYLOCUST	<i>Gleditsia triacanthos var. inermis 'Skycoke'</i>	2.5" CAL.
8	TA	AMERICAN SENTRY LINDEN	<i>Tilia americana 'MkSentry'</i>	2.5" CAL.

QTY	SYM	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE
4	UP	PATRIOT ELM	<i>Ulmus x 'Patriot'</i>	2.5" CAL.
<b>DECIDUOUS SHRUBS</b>				
52	Bg	CHICAGO LAND GREEN BOXWOOD	<i>Buxus glaucocarpa</i>	#5 CONT.
6	Ca	IVORY HALO DOGWOOD	<i>Cornus alba 'Bailhato'</i>	#5 CONT.
30	Ca	TOM THUMB COTONEASTER	<i>Cotoneaster apiculatus 'Tom Thumb'</i>	#5 CONT.
108	Cc	SUGARTINA CLETIIRA	<i>Clethra alnifolia 'Crystalina' (PP21, 561)</i>	#3 CONT.
41	Ds	BUTTERFLY BUSH HONEYSUCKLE	<i>Dierisella sessilifolia 'Butterfly'</i>	#5 CONT.
115	Hk	KALM AMES HYPERICUM	<i>Hypericum kalmianum 'Ames'</i>	#5 CONT.
110	Ra	GRG LOW SUMAC	<i>Rhus aromatica 'Gro Low'</i>	#5 CONT.
38	Rh	FLOWER CARPET ROSE	<i>Rosa x 'Noemae'</i>	#5 CONT.
4	Sm	DWARF KOREAN LILAC	<i>Syringa meyeri 'Palisade'</i>	#5 CONT.
51	Ss	SEM FALSE SPIREA	<i>Sorbaria sorbifolia 'Sem' (PP16, 336)</i>	#2 CONT.
<b>CONIFEROUS TREES</b>				
5	AC	CONCOLOR FIR	<i>Abies concolor</i>	6" B&B
3	PA	NORWAY SPRUCE	<i>Picea abies</i>	6" B&B
9	PS	WHITE PINE	<i>Pinus strobus</i>	6" B&B
<b>CONIFEROUS SHRUBS</b>				
21	Bg	CHICAGO LAND GREEN BOXWOOD	<i>Buxus x 'Glencoe'</i>	#5 CONT.
8	Cp	KING'S GOLD CHAMAECYPARIS	<i>Chamaecyparis pisifera 'King's gold'</i>	#5 CONT.
60	Jc	MANEY JUNIPER	<i>Juniperus chinensis 'Maney'</i>	#5 CONT.
18	Lk	SKYROCKET JUNIPER	<i>Juniperus scopulorum 'Skyrocket'</i>	6" B&B
12	Tc	RUSHMORE ARBORVITAE	<i>Thuja occidentalis 'Rushmore'</i>	#10 CONT.

**GRAPHIC LEGEND:**



CERTIFICATION

DRAWN BY: SB  
CHECKED BY: BH  
COMMISSION NUMBER: 1393-161

**SITE - PLANTING  
PLAN NORTH**

SHEET NUMBER

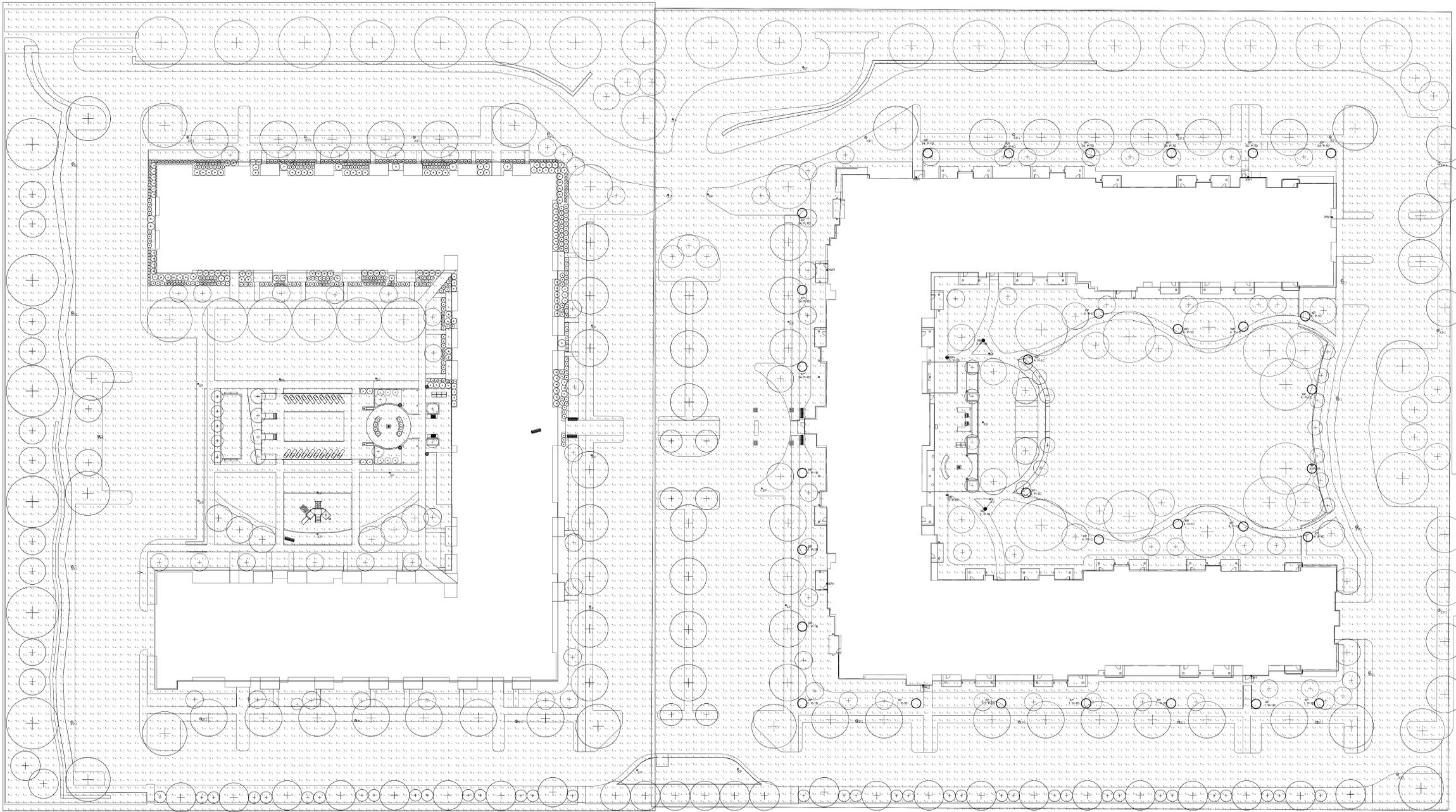
**L102-F**

© 2018 BKV Group



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	GLP	Description
+	22	MRP_LED_42C_1000_30K_SR2_MV0L	SINGLE	N.A.	1.000	MRP LED 42C 1000 30K SR2 MV0LT
○	26	RAD1_LED_P5_30K_PATH_HS	SINGLE	N.A.	1.000	RAD1 LED P5 30K PATH HS

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
WEST ST PAUL FAMILY SITE Workpl	Illuminance	Fc	1.18	11.8	0.0	N.A.	N.A.
WEST SENIOR ST PAUL SITE Workpl	Illuminance	Fc	1.12	9.9	0.0	N.A.	N.A.



**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota

*Chad Kurdi*  
Chad Kurdi  
42878  
License Number

06-25-2020  
Date

DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	1983-162

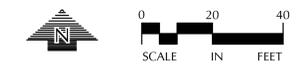
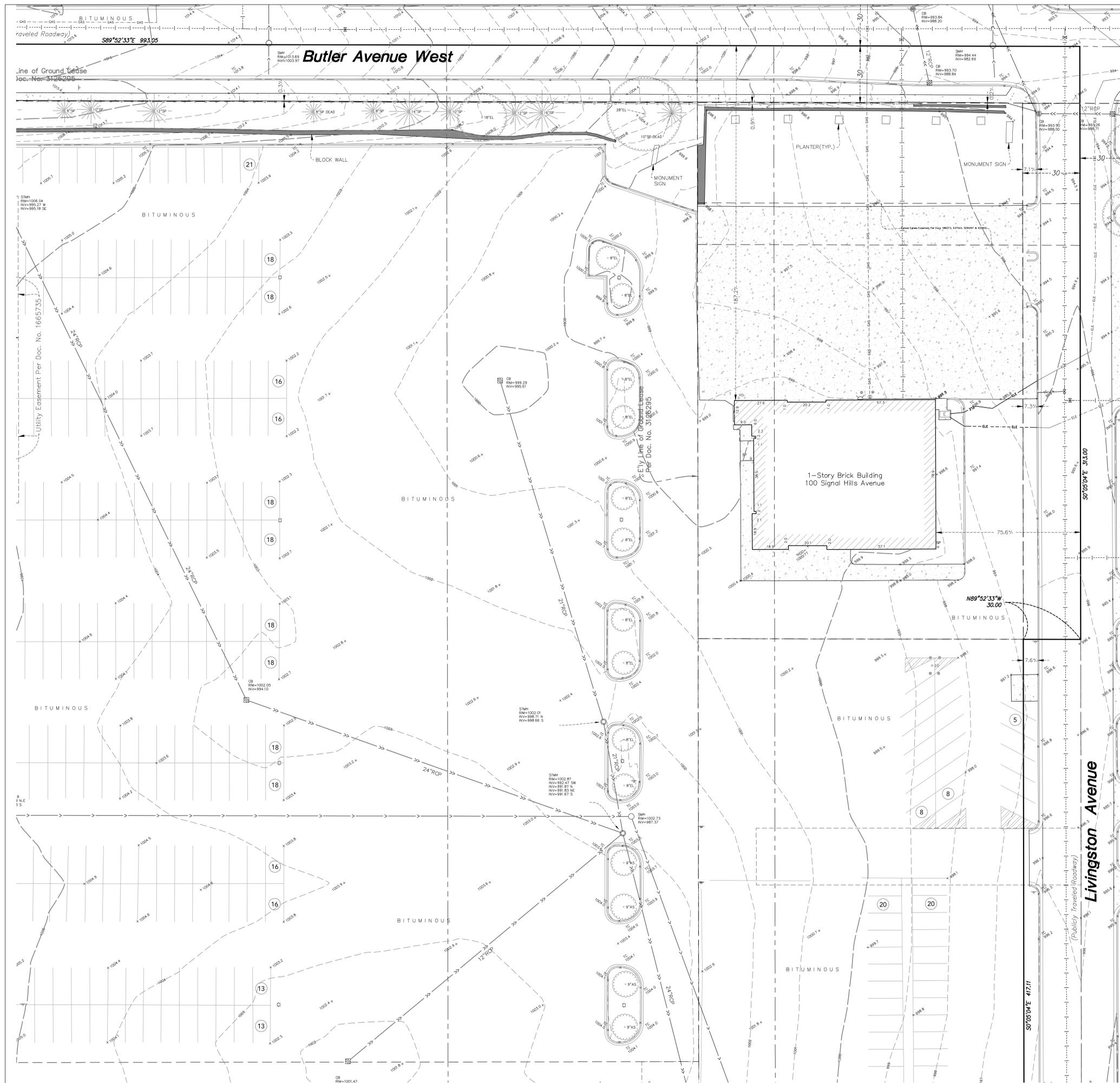
SHEET TITLE

ELECTICAL SITE  
PLAN W/ CALCS

SHEET NUMBER

**E011**





**SURVEY LEGEND**

AS ASH	⊗ CATCH BASIN	— S	STORM SEWER
AP APPLE	⊙ STORM MANHOLE	— S	SANITARY SEWER
BA BASSWOOD	⊙ SANITARY MANHOLE	— W	WATERMAIN
BI BIRCH	⊙ WATER MANHOLE	— S	SANITARY SEWER SERVICE
BO BOXELDER	⊙ HYDRANT	— W	WATER SERVICE
BU BUCKEYE	⊙ GATE VALVE	— C	CULVERT
BS BUSH	⊙ POWER POLE	— CTV	UNDERGROUND CABLE TV
CA CATULPA	⊙ LIGHT POLE	— E	UNDERGROUND ELECTRIC
CE CEDAR	⊙ YARD LIGHT	— FO	UNDERGROUND FIBER OPTIC
CO COTTONWOOD	⊙ GUY WIRE	— GAS	UNDERGROUND GAS
DE DEAD TREE	⊙ SIGN	— TEL	UNDERGROUND TELEPHONE
EL ELM	⊙ SPOT ELEVATION	— UTL	UNDERGROUND UTILITY
FR MISC FRUIT	⊙ A/C UNIT	— OH	OVERHEAD UTILITY
FI FIR	⊙ CABLE TV PEDESTAL	— TRFC	UNDERGROUND TRAFFIC
HA HACKBERRY	⊙ ELECTRIC TRANSFORMER	— DT	DRAIN TILE
HI HICKORY	⊙ TELEPHONE PEDESTAL	— FM	FORCE MAIN
IR IRONWOOD	⊙ UTILITY PEDESTAL	— X	CHAIN LINK FENCE
LI LINDEN	⊙ ELECTRIC MANHOLE	— O	POST FENCE
LO LOCUST	⊙ GAS VALVE	— W	WOOD FENCE
MA MAPLE	⊙ TELEPHONE MANHOLE	— G	GUARDRAIL
OA OAK	⊙ UTILITY MANHOLE	— R	RETAINING WALL
PA PALM	⊙ ELECTRIC METER	— T	TRAFFIC SIGNAL
PI PINE	⊙ GAS METER	— C	CONCRETE CURB
PO POPLAR	⊙ HAND HOLE	— C	CONCRETE
SP SPRUCE	⊙ ROOF DRAIN	— B	BITUMINOUS
TR TREE (GEN)	⊙ ELECTRIC OUTLET	— P	PAVERS
WA WALNUT	⊙ FIRE CONNECTION	— C	CONTOUR
WI WILLOW	⊙ MAILBOX	— R	RAILROAD TRACKS
TC TOP OF CURB	⊙ FLAG POLE	— T	CONFEROUS TREE
TW TOP OF WALL	⊙ GUARDPOST	— D	DECIDUOUS TREE
THSD ELEV THRESHOLD	⊙ MONITORING WELL		
	⊙ POST INDICATOR VALVE		
	⊙ SOIL BORING		

**BKV GROUP**  
 Architecture  
 Interior Design  
 Landscape Architecture  
 Engineering

Boarman  
 Kroos  
 Vogel  
 Group  
 Inc.

222 North Second Street  
 Minneapolis MN 55401  
 Telephone: 612-339-3752  
 Facsimile: 612-339-6212  
 www.bkvgroup.com  
 EOE

**CONSULTANTS**

**LOUCKS**  
 PLANNING  
 CIVIL ENGINEERING  
 LAND SURVEYING  
 LANDSCAPE ARCHITECTURE  
 ENVIRONMENTAL

7200 Hemlock Lane, Suite 300  
 Maple Grove, MN 55369  
 763-424-5505  
 www.loucksinc.com

LOUCKS PROJECT NO. 05749.0B

**PROJECT TITLE**

**WEST ST. PAUL SENIOR**

**OWNER/DEVELOPER**

**DOMINIUM**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1
	06/26/2020	SITE PLAN APPLICATION

**CERTIFICATION**  
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Michael J. St. Martin, PE*  
 Michael J. St. Martin, PE  
 24440  
 License Number 03/13/2020  
 Date

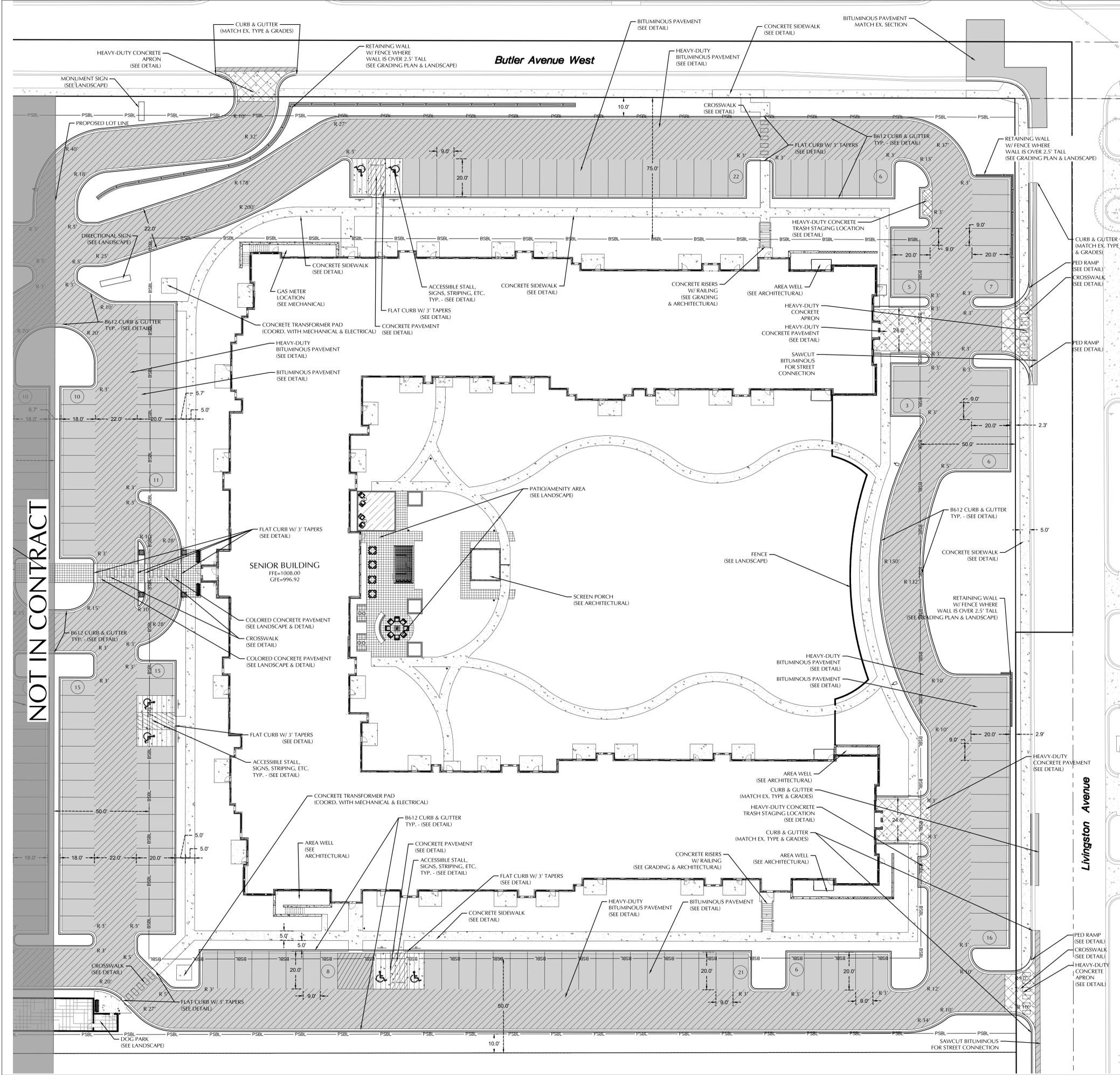
DATE 06/26/2020  
 DRAWN BY JBT  
 CHECKED BY SRT  
 COMMISSION NUMBER 05749.0B

**SHEET TITLE**

**EX COND.**

**SHEET NUMBER**

**C1-1**



**CIVIL LEGEND**

**EXISTING**

- Sanitary Manhole
- Storm Manhole
- Catch Basin
- Valve
- Hydrant
- Gate Valve
- Post Indicator Valve
- Light Pole
- Power Pole
- Sign
- Benchmark
- Soil Boring
- Water Manhole
- Telephone Manhole
- Electric Manhole
- Water Service
- Sanitary Service
- Handicap Parking
- Direction of Flow
- Spot Elevation
- Contours
- Sanitary Sewer
- Storm Sewer
- Watermain
- Firemain
- Shantile
- ILT Fitter
- Curb & Gutter
- Retaining Wall
- Trellis
- Easement Line
- Setback Line
- Fence Line
- Underground Tile
- Underground Gas
- Overhead Utility
- Underground Fiber Optic
- Underground Electric
- Underground Cable TV
- Property Line
- Coniferous Tree
- Deciduous Tree
- Parking Counts

**PROPOSED**

- Concrete Sidewalk
- Bituminous Pavement
- Heavy Duty Bituminous Pavement
- Bituminous Trail
- Concrete Pavement
- Heavy-Duty Concrete Pavement

**SCALE**

0 20 40  
IN FEET

**SITE PLAN LEGEND**

- Concrete Sidewalk
- Bituminous Pavement
- Heavy Duty Bituminous Pavement
- Concrete Pavement
- Heavy-Duty Concrete Pavement

**SITE DATA**

CURRENT ZONING:	B-4
PROPOSED ZONING:	PRD
PARKING SETBACKS:	
FRONT YARD:	10'
REAR YARD:	10'
SIDE YARD:	0'
INTERNAL SIDE YARD:	*10' WHEN ABUTTING RESIDENTIAL
BUILDING SETBACKS:	
FRONT YARD:	75'
REAR YARD:	50'
SIDE YARD:	50'
EAST PROPERTY AREA:	5.87 AC.
EAST IMPERVIOUS AREA:	3.61 AC.

- SITE NOTES**
- ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEETS) AND STATE/LOCAL JURISDICTION REQUIREMENTS.
  - ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL STATE REQUIREMENTS.
  - ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
  - TYPICAL FULL SIZED PARKING STALL IS 9' X 18' WITH A 22' WIDE TWO WAY DRIVE UNLESS OTHERWISE NOTED.
  - ALL CURB RADII SHALL BE 3.0' UNLESS OTHERWISE NOTED.
  - BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
  - SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.

**EAST OFF-STREET PARKING CALCULATIONS**

PROPOSED SURFACE PARKING PROVIDED:	151 STALLS
SURFACE ACCESSIBLE PARKING:	6 STALLS
REQUIRED SURFACE ACCESSIBLE PARKING:	6 STALLS*

\*REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES FOR 151-200 STALLS

**WARNING:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

**CALL BEFORE YOU DIG!**

**Gopher State One Call**

TWIN CITY AREA: 651-454-0002  
TOLL FREE: 1-800-252-1166

**CERTIFICATION**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Michael J. St. Martin, PE*

24440  
License Number 03/13/2020  
Date

DATE: 06/28/2020  
DRAWN BY: JBT  
CHECKED BY: SRT  
COMMISSION NUMBER: 05749.FB

**SHEET TITLE**

**SITE PLAN**

**SHEET NUMBER**

**C2-1**

© 2016 BKV Group, Inc. EOE

**BKV GROUP**

Architecture  
Interior Design  
Landscape Architecture  
Engineering

Boarman  
Kroos  
Vogel  
Group  
Inc.

222 North Second Street  
Minneapolis MN 55401  
Telephone: 612-339-3752  
Facsimile: 612-339-6212  
www.bkvgroup.com  
EOE

**CONSULTANTS**

**LOUCKS**

PLANNING  
CIVIL ENGINEERING  
LAND SURVEYING  
LANDSCAPE ARCHITECTURE  
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55369  
763-424-5505  
www.loucksinc.com

LOUCKS PROJECT NO. 05749.0B

**PROJECT TITLE**

**WEST ST. PAUL SENIOR**

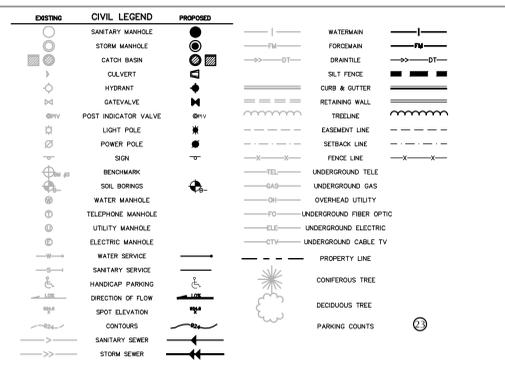
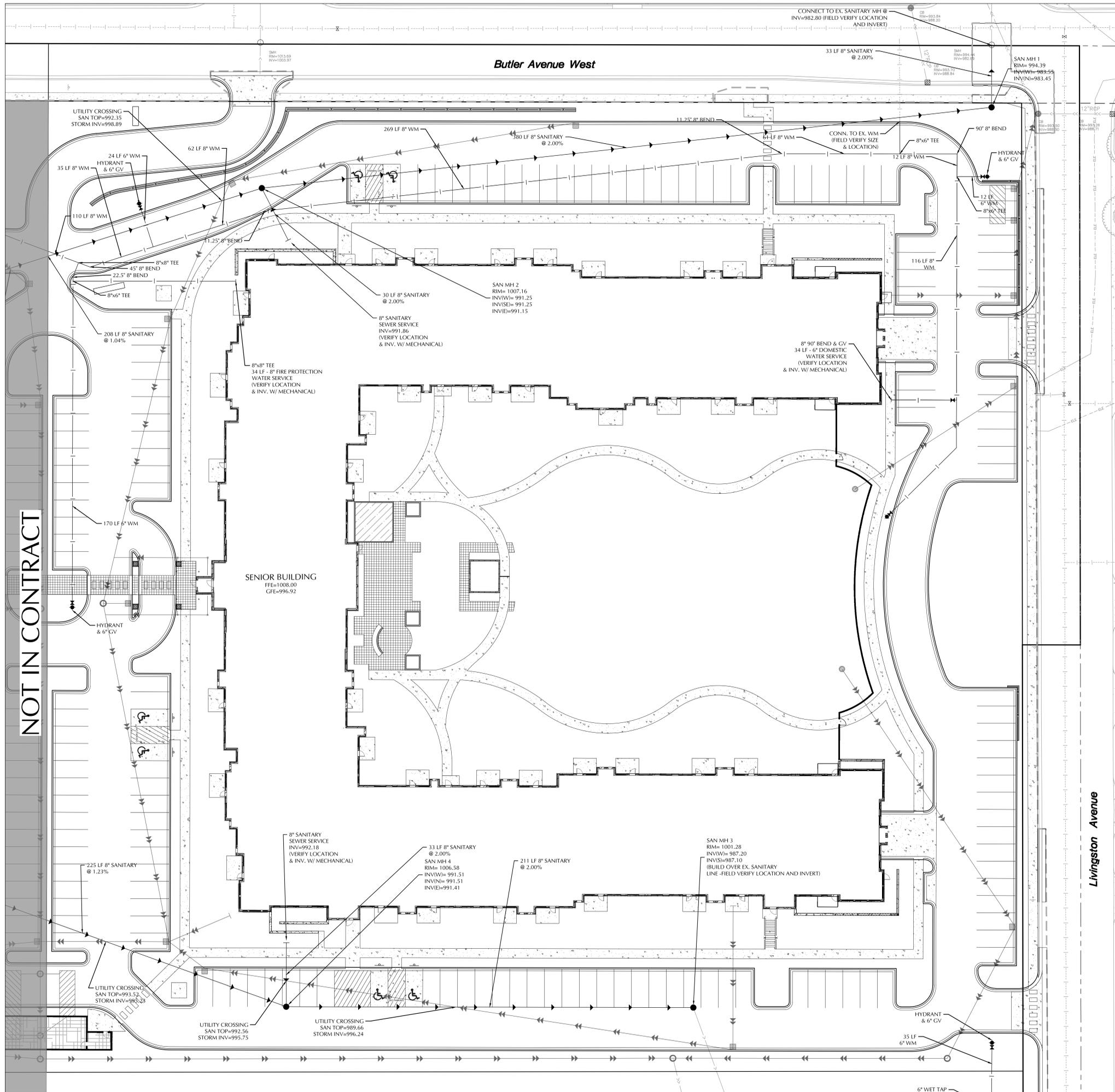
**OWNER/DEVELOPER**

**DOMINIUM**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1
	06/28/2020	SITE PLAN APPLICATION

NOT IN CONTRACT

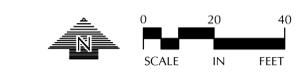




STRUCTURE TABLE						
NAME	TYPE	SIZE	RIM	BUILD	CASTING	NOTES
1	MH	48"	994.39	10.94'	R-1642	
2	MH	48"	1007.16	16.01'	R-1642	
3	MH	48"	1001.28	14.18'	R-1642	
4	MH	48"	1006.58	15.17'	R-1642	

**UTILITY NOTES**

- ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), LATEST EDITION.
- ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTON SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATERMAIN AND ALL OTHER UTILITIES UNLESS OTHERWISE NOTED.
- ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 8.0 FEET OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 8.0 FEET MINIMUM DEPTH CAN NOT BE ATTAINED.
- ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER WYES, TEES AND SERVICES SHALL BE SCH. 40 PVC.
- HYDRANT USE: CONTRACTOR IS RESPONSIBLE TO NOTIFY PUBLIC UTILITIES DEPARTMENT WHEN THEY NEED TO USE A HYDRANT; ONLY PRE-AUTHORIZED HYDRANTS WILL BE USED. HYDRANTS TO BE OPERATED ONLY WITH PROPER EQUIPMENT SUCH AS A HYDRANT NUT WRENCH; NOT A PIPE WRENCH. HYDRANT METER IS AVAILABLE FROM PUBLIC UTILITIES DEPARTMENT. ANY TRUCK, ETC. FILLED FROM A HYDRANT MUST HAVE PHYSICAL BREAK OR BACKFLOW PREVENTER APPROVED BY PUBLIC UTILITIES DEPARTMENT. ALSO APPLIES TO SUBCONTRACTORS.
- OPERATING VALVES FOR TURNING WATER MAIN ON/OFF: PUBLIC UTILITIES DEPARTMENT WILL OPERATE ALL VALVES AND FILL ALL WATER MAINS PUBLIC AND PRIVATE. CONTRACTOR SHALL GIVE AT LEAST 24 HOURS NOTICE TO HAVE WATER SHUT OFF AND SHALL NOTIFY IN WRITING. ALL AFFECTED CUSTOMERS AT LEAST 24 HOURS IN ADVANCE BEFORE SHUT OFF; ATTACH TO DOOR, ETC., NOT IN MAILBOXES.
- TEMPORARY SERVICE: THE CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE IF SERVICE CANNOT BE RESTORED SAME DAY. IF USING HYDRANT FOR TEMPORARY SERVICE, NOTIFY PUBLIC UTILITIES DEPARTMENT AND USE ONLY PRE-APPROVED HYDRANT AND SUPPLIED HYDRO METER WITH BACK FLOW. THE CONTRACTOR'S TEMPORARY MAINS SHALL BE DISINFECTED, FLUSHED AND BACTERIOLOGICAL ANALYSIS SHOWN NEGATIVE PRIOR TO PUTTING THE TEMPORARY SYSTEM IN SERVICE. THE TEMPORARY WATER SYSTEM SHALL BE IN PLACE PRIOR TO THE PUBLIC UTILITIES DEPARTMENT SHUTTING OFF ANY WATER MAINS.
- ALL PROPOSED STRUCTURES SHALL HAVE FLEX SEAL INSTALLED ON THE ADJUSTING RINGS.
- SANITARY SEWER MATERIAL: PVC SDR 26
- WATERMAIN MATERIAL: PVC C900



**WARNING:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1
	06/26/2020	SITE PLAN APPLICATION

**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

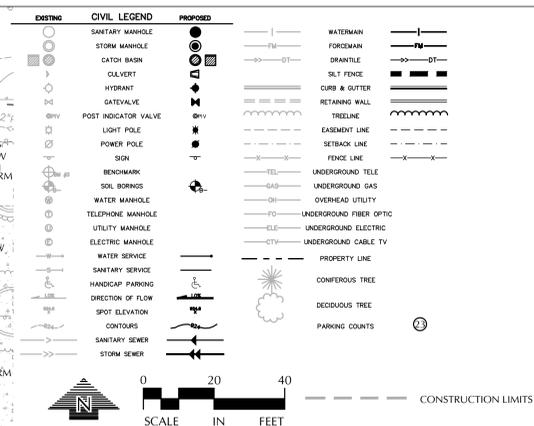
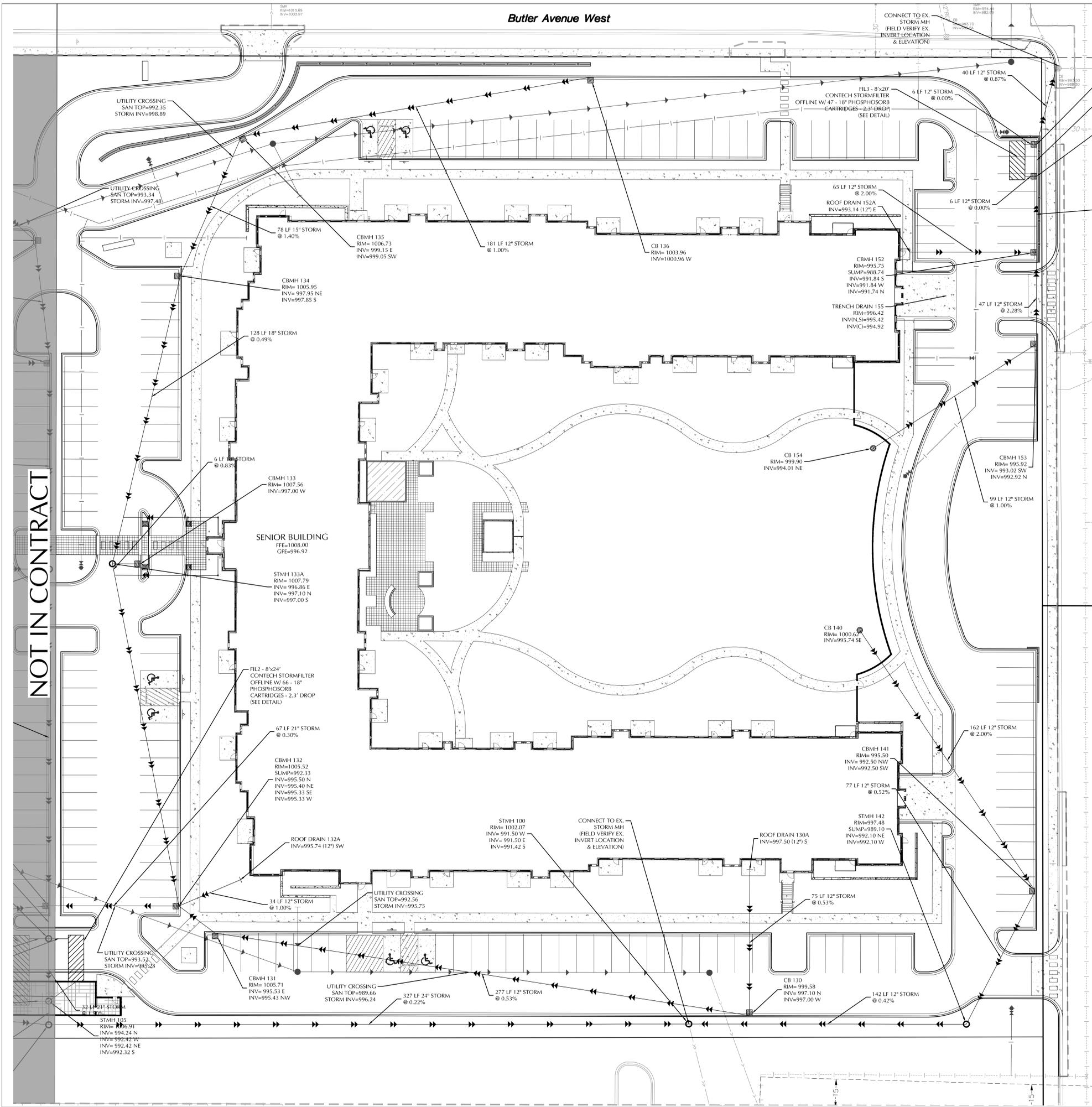
*Michael J. St. Martin, PE*  
Michael J. St. Martin, PE

24440	03/13/2020
License Number	Date
DATE	06/26/2020
DRAWN BY	JBT
CHECKED BY	SRT
COMMISSION NUMBER	05749.0B

**SANITARY SEWER & WATERMAIN PLAN**

**SHEET NUMBER**  
**C4-1**

Butler Avenue West



STRUCTURE TABLE						
NAME	TYPE	SIZE	RIM	BUILD	CASTING	NOTES
100	STMH	60"	1002.07	12.65'	R-1733	
130	CB	2'x3'	999.85	2.85'	R-3067	
131	CBMH	48"	1005.71	10.28'	R-3067	
132	CBMH	48"	1005.52	13.19'	R-3067	
133	CBMH	48"	1007.56	10.56'	R-3067	
134	CBMH	48"	1005.95	8.11'	R-3067	
135	CBMH	48"	1006.73	7.68'	R-3067	
136	CB	2'x3'	1003.96	3.00'	R-3067	
140	CB	27"	1000.62	4.89'	R-4370-21	
141	CBMH	48"	995.50	6.00'	R-3067	
142	STMH	48"	997.48	8.39'	R-1733	
150	CBMH	48"	997.43	8.58'	R-3067	
151	CBMH	48"	997.32	6.07'	R-3067	
152	CBMH	48"	995.75	7.01'	R-3067	
153	CBMH	48"	995.92	3.00'	R-3067	
154	CB	27"	999.90	5.89'	R-4370-21	

- UTILITY NOTES**
- ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), LATEST EDITION.
  - ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION.
  - ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
  - ALL STORM SEWER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
  - A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATERMAIN AND ALL OTHER UTILITIES UNLESS OTHERWISE NOTED.
  - ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 8.0 FEET OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 8.0 FEET MINIMUM DEPTH CAN NOT BE ATTAINED.
  - ALL PORTIONS OF THE STORM SEWER SYSTEM, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820.
  - ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT (SEE MINNESOTA RULES, PART 4715.0700). APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, AND OTHER STRUCTURES.
  - HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINS MUST COMPLY WITH MINNESOTA RULES, PART 4715.0540:
    - PIPES 4-INCH TO 10-INCH IN SIZE MUST COMPLY WITH AASHTO M252.
    - PIPES 12-INCH TO 60-INCH IN SIZE MUST COMPLY WITH ASTM F2306.
    - ALL FITTINGS MUST COMPLY WITH ASTM D3212.
    - WATER-TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
  - TEMPORARY SERVICE: THE CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE IF SERVICE CANNOT BE RESTORED SAME DAY. IF USING HYDRANT FOR TEMPORARY SERVICE, NOTIFY PUBLIC UTILITIES DEPARTMENT AND USE ONLY PRE-APPROVED HYDRANT AND SUPPLIED HYDRO METER WITH BACK FLOW. THE CONTRACTOR'S TEMPORARY MAIN SHALL BE DISINFECTED, FLUSHED AND BACTERIOLOGICAL ANALYSIS SHOWN NEGATIVE PRIOR TO PUTTING THE TEMPORARY SYSTEM IN SERVICE. THE TEMPORARY WATER SYSTEM SHALL BE IN PLACE PRIOR TO THE PUBLIC UTILITIES DEPARTMENT SHUTTING OFF ANY WATER MAINS.
  - ALL PROPOSED STRUCTURES SHALL HAVE FLEX SEAL INSTALLED ON THE ADJUSTING RINGS.
  - STORM SEWER MATERIALS: HDPE
  - CONTRACTOR TO VERIFY UNDERLYING SOILS BENEATH ALL STORMWATER FACILITIES, AND PROVIDE DOCUMENTATION TO THE ENGINEER, PRIOR TO CONSTRUCTION OF THE FACILITIES.

**WARNING:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

**CALL BEFORE YOU DIG!**  
**Gopher State One Call**  
 TWIN CITY AREA: 651-454-0002  
 TOLL FREE: 1-800-252-1166

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1
	06/28/2020	SITE PLAN APPLICATION

**CERTIFICATION**  
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Michael J. St. Martin, PE*  
 Michael J. St. Martin, PE

24440  
 License Number 03/13/2020  
 Date

DATE 06/28/2020  
 DRAWN BY JBT  
 CHECKED BY SRT  
 COMMISSION NUMBER 05749.08

**SHEET TITLE**

**STORM SEWER PLAN**

**SHEET NUMBER**

**C4-2**

**CONSULTANTS**

**PROJECT TITLE**

**WEST ST. PAUL  
SENIOR**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	IBD SET
A	05/12/2020	ADDENDUM #1



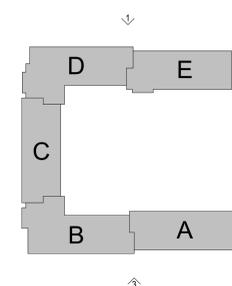
1 NORTH OVERALL ELEVATION  
A401 1/16" = 1'-0"



2 EAST OVERALL ELEVATION  
A401 1/16" = 1'-0"



3 SOUTH OVERALL ELEVATION  
A401 1/16" = 1'-0"



**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota

*Mike Krych*  
Mike Krych  
23555 License Number  
06/26/2020 Date  
DRAWN BY Author  
CHECKED BY Checker  
COMMISSION NUMBER 1393-162

**SHEET TITLE**

**EXTERIOR  
ELEVATIONS -  
REFERENCE**

**SHEET NUMBER**

**A401**

CONSULTANTS

PROJECT TITLE

WEST ST. PAUL  
SENIOR

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	IBD SET
A	05/12/2020	ADDENDUM #1



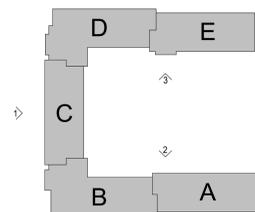
1 WEST OVERALL ELEVATION  
A402 1/16" = 1'-0"



2 NORTH COURTYARD OVERALL ELEVATION  
A402 1/16" = 1'-0"



3 SOUTH COURTYARD OVERALL ELEVATION  
A402 1/16" = 1'-0"



**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota

*Mike Krych*  
Mike Krych  
23555 / 06/26/2020  
License Number Author  
Date  
DRAWN BY Author  
CHECKED BY Checker  
COMMISSION NUMBER 1393-162

SHEET TITLE

EXTERIOR  
ELEVATIONS -  
REFERENCE

SHEET NUMBER

A402

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BD SET
A	05/12/2020	ADDENDUM #1



1 SOUTH AREA A ELEVATION  
A403 1/8" = 1'-0"

**EXTERIOR MATERIAL LEGEND**

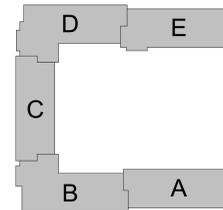
- FB-1 FACE BRICK MASONRY VENEER (FIELD & SOLDIER COURSE)
- DCMU-1 DECORATIVE CONCRETE MASONRY UNITS
- FSDG-1-1 LAP SIDING 8" - PTX-1
- FSDG-2-2 LAP SIDING 6" - PTX-2
- FSDG-3-1 LAP SIDING 4" - PTX-1
- FSDG-3-3 LAP SIDING 4" - PTX-3
- FSDG-4-2 FLAT PANEL SIDING - PTX-2
- FSDG-4-3 FLAT PANEL SIDING - PTX-3
- FSDG-5-2 TRIM BOARD - PTX-2
- FSDG-5-3 TRIM BOARD - PTX-3

NOTE: ALL FIBER CEMENT SIDING (FSDG) TO BE FIELD PAINTED



2 SOUTH AREA B ELEVATION  
A403 1/8" = 1'-0"

NOTE:  
REFER TO ELECTRICAL FOR ALL EXTERIOR LIGHTING FIXTURES. LOCATIONS TO BE FINALIZED IN FUTURE ISSUANCE



**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota

Mike Krych  
23555 / 06/26/2020  
License Number Author Date  
DRAWN BY Author  
CHECKED BY Checker  
COMMISSION NUMBER 1393-162

**SHEET TITLE**

**EXTERIOR  
ELEVATIONS**

**SHEET NUMBER**

**A403**

© 2020 BKV Group

CONSULTANTS

PROJECT TITLE

**WEST ST. PAUL  
SENIOR**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	IBD SET
A	05/12/2020	ADDENDUM #1

EXTERIOR ELEVATION KEYNOTES

AE03	WOOD FRAMED CANOPY W/ TRIM BOARD WRAP AT COLUMN AND EAVE PROFILE, TYP
AE04	PREFINISHED BREAK METAL CAP, COLOR TO MATCH ADJACENT FRAME AND BODY
AE08	PAQU - FT. TO MATCH ADJACENT MATERIAL, TYP
AE13	PREFABRICATED ALUMINUM DECKS & RAILING, TYP
AE18	DECORATIVE TRIM FEATURE, SEE ENLARGED ELEVATIONS
AE19	CONTINUOUS RIDGE VENT, TYP
AE24	PREFINISHED METAL COPING, COLOR TO MATCH BODY AE00
AE29	SOLDER COURSE, FBR-1 TYP.
AE32	ALUMINUM RAILING, COLOR TBD



1 WEST AREA B/C ELEVATION  
A404 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

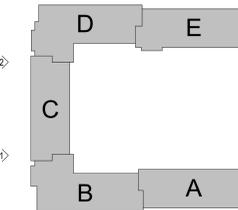
	FACE BRICK MASONRY VENEER (FIELD & SOLDER COURSE)
	DECORATIVE CONCRETE MASONRY UNITS
	LAP SIDING 8" - PTX-1
	LAP SIDING 6" - PTX-2
	LAP SIDING 4" - PTX-1
	LAP SIDING 4" - PTX-2
	LAP SIDING 4" - PTX-3
	FLAT PANEL SIDING - PTX-2
	FLAT PANEL SIDING - PTX-3
	TRIM BOARD - PTX-2
	TRIM BOARD - PTX-3

NOTE: ALL FIBER CEMENT SIDING (FSDG) TO BE FIELD PAINTED



2 WEST AREA C/D ELEVATION  
A404 1/8" = 1'-0"

NOTE:  
REFER TO ELECTRICAL FOR ALL EXTERIOR LIGHTING FIXTURES. LOCATIONS TO BE FINALIZED IN FUTURE ISSUANCE



**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota

*Mike Krych*  
Mike Krych  
23555  
License Number  
Author  
06/26/2020  
Date  
DRAWN BY  
Checked  
COMMISSION NUMBER  
1393-162  
Checker

**SHEET TITLE**  
**EXTERIOR  
ELEVATIONS**

**SHEET NUMBER**  
**A404**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	IBD SET
A	05/12/2020	ADDENDUM #1

EXTERIOR ELEVATION KEYNOTES

AE04	PREFINISHED BREAK METAL CAP, COLOR TO MATCH ADJACENT FRAME AND BODY
AE08	PACU - PT TO MATCH ADJACENT MATERIAL, TYP.
AE13	PREFABRICATED ALUMINUM DECKS & RAILING, TYP.
AE18	DECORATIVE TRIM FEATURE, SEE ENLARGED ELEVATIONS
AE19	CONTINUOUS RIDGE VENT, TYP.
AE24	PREFINISHED METAL COPING, COLOR TO MATCH BODY AE00
AE29	SOLDIER COURSE, FBR-1 TYP.
AE32	ALUMINUM RAILING, COLOR TBD
AE36	ENTRY METAL CANOPY, COLOR TBD



1 NORTH AREA D ELEVATION  
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

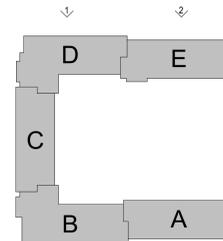
	FACE BRICK MASONRY VENEER (FIELD & SOLDIER COURSE)
	DECORATIVE CONCRETE MASONRY UNITS
	LAP SIDING 6" - PTX-1
	LAP SIDING 6" - PTX-2
	LAP SIDING 4" - PTX-1
	LAP SIDING 4" - PTX-3
	FLAT PANEL SIDING - PTX-2
	FLAT PANEL SIDING - PTX-3
	TRIM BOARD - PTX-2
	TRIM BOARD - PTX-3

NOTE: ALL FIBER CEMENT SIDING (FSDG) TO BE FIELD PAINTED



2 NORTH AREA E ELEVATION  
1/8" = 1'-0"

NOTE:  
REFER TO ELECTRICAL FOR ALL EXTERIOR LIGHTING FIXTURES. LOCATIONS TO BE FINALIZED IN FUTURE ISSUANCE



**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota

Mike Krych  
23555 / 06/26/2020  
License Number Author  
Date  
DRAWN BY Author  
CHECKED BY Checker  
COMMISSION NUMBER 1393-162

SHEET TITLE

**EXTERIOR  
ELEVATIONS**

SHEET NUMBER

**A405**

© 2020 BKV Group

CONSULTANTS

PROJECT TITLE

WEST ST. PAUL  
SENIOR

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	IBD SET
A	05/12/2020	ADDENDUM #1

EXTERIOR ELEVATION KEYNOTES

AE04	PREFINISHED BREAK METAL CAP. COLOR TO MATCH ADJACENT FRAME AND BODY
AE08	PACU - PT. TO MATCH ADJACENT MATERIAL. TYP.
AE13	PREFABRICATED ALUMINUM DECKS & RAILING. TYP.
AE18	DECORATIVE TRIM FEATURE. SEE ENLARGED ELEVATIONS
AE19	CONTINUOUS RIDGE VENT. TYP.
AE24	PREFINISHED METAL COPING. COLOR TO MATCH BODY AE00
AE29	SOLDIER COURSE, FBR-1 TYP.



1 EAST AREA E WING ELEVATION  
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

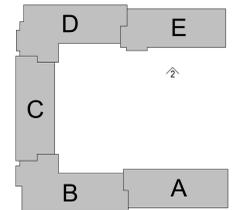
	FACE BRICK MASONRY VENEER (FIELD & SOLDIER COURSE)
	DECORATIVE CONCRETE MASONRY UNITS
	LAP SIDING 6" - PTX-1
	LAP SIDING 6" - PTX-2
	LAP SIDING 4" - PTX-1
	LAP SIDING 4" - PTX-3
	FLAT PANEL SIDING - PTX-2
	FLAT PANEL SIDING - PTX-3
	TRIM BOARD - PTX-2
	TRIM BOARD - PTX-3

NOTE: ALL FIBER CEMENT SIDING (FSDG) TO BE FIELD PAINTED



2 SOUTH COURTYARD AREA E ELEVATION  
1/8" = 1'-0"

NOTE: REFER TO ELECTRICAL FOR ALL EXTERIOR LIGHTING FIXTURES. LOCATIONS TO BE FINALIZED IN FUTURE ISSUANCE



**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota

Mike Krych  
23555 / 06/26/2020  
License Number Author Date  
DRAWN BY Author  
CHECKED BY Checker  
COMMISSION NUMBER 1393-162

SHEET TITLE

EXTERIOR  
ELEVATIONS

SHEET NUMBER

A406

**CONSULTANTS**

**PROJECT TITLE**

**WEST ST. PAUL  
SENIOR**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BD SET
A	05/12/2020	ADDENDUM #1

**EXTERIOR ELEVATION KEYNOTES**

AE04	PREFINISHED BREAK METAL CAP. COLOR TO MATCH ADJACENT FRAME AND BODY
AE08	PACU - PT TO MATCH ADJACENT MATERIAL. TYP.
AE13	PREFABRICATED ALUMINUM DECKS & RAILING. TYP.
AE18	DECORATIVE TRIM FEATURE. SEE ENLARGED ELEVATIONS
AE19	CONTINUOUS RIDGE VENT. TYP.
AE24	PREFINISHED METAL COPING. COLOR TO MATCH BODY AE00
AE29	SOLDER COURSE. FBR-1 TYP.
AE36	ENTRY METAL CANOPY. COLOR TBD



**1 SOUTH COURTYARD AREA D ELEVATION**  
A407 1/8" = 1'-0"

**EXTERIOR MATERIAL LEGEND**

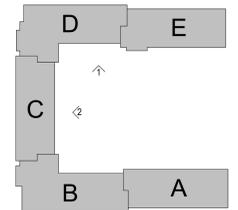
	FBR-1	FACE BRICK MASONRY VENEER (FIELD & SOLDER COURSE)
	DCMU-1	DECORATIVE CONCRETE MASONRY UNITS
	FSDG-1-1	LAP SIDING 8" - PTX-1
	FSDG-2-2	LAP SIDING 6" - PTX-2
	FSDG-3-1	LAP SIDING 4" - PTX-1
	FSDG-3-3	LAP SIDING 4" - PTX-3
	FSDG-4-2	FLAT PANEL SIDING - PTX-2
	FSDG-4-3	FLAT PANEL SIDING - PTX-3
	FSDG-5-2	TRIM BOARD - PTX-2
	FSDG-5-3	TRIM BOARD - PTX-3

NOTE: ALL FIBER CEMENT SIDING (FSDG) TO BE FIELD PAINTED



**2 EAST COURTYARD ELEVATION**  
A407 1/8" = 1'-0"

NOTE: REFER TO ELECTRICAL FOR ALL EXTERIOR LIGHTING FIXTURES. LOCATIONS TO BE FINALIZED IN FUTURE ISSUANCE



**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota

Mike Krych  
23555 / 06/26/2020  
License Number Author  
Date  
DRAWN BY Author  
CHECKED BY Checker  
COMMISSION NUMBER 1393-162  
SHEET TITLE

**EXTERIOR  
ELEVATIONS**

SHEET NUMBER

**A407**

© 2020 BKV Group

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BD SET
A	05/12/2020	ADDENDUM #1



EXTERIOR ELEVATION KEYNOTES

AE04	PREFINISHED BREAK METAL CAP, COLOR TO MATCH ADJACENT FRAME AND BODY
AE08	PACU - PT TO MATCH ADJACENT MATERIAL, TYP.
AE13	PREFABRICATED ALUMINUM DECKS & RAILING, TYP.
AE18	DECORATIVE TRIM FEATURE, SEE ENLARGED ELEVATIONS
AE19	CONTINUOUS RIDGE VENT, TYP.
AE24	PREFINISHED METAL COPING, COLOR TO MATCH BODY AE00
AE29	SOLDIER COURSE, FB-1 TYP.
AE36	ENTRY METAL CANOPY, COLOR TBD

1 NORTH COURTYARD AREA B ELEVATION

A408 1/8" = 1'-0"

2 EAST AREA A WING ELEVATION

A408 1/8" = 1'-0"



EXTERIOR MATERIAL LEGEND

	FB-1 FACE BRICK MASONRY VENEER (FIELD & SOLDIER COURSE)
	DCMU-1 DECORATIVE CONCRETE MASONRY UNITS
	FSDG-1-1 LAP SIDING 6" - PTX-1
	FSDG-2-2 LAP SIDING 6" - PTX-2
	FSDG-3-1 LAP SIDING 4" - PTX-1
	FSDG-3-3 LAP SIDING 4" - PTX-3
	FSDG-4-2 FLAT PANEL SIDING - PTX-2
	FSDG-4-3 FLAT PANEL SIDING - PTX-3
	FSDG-5-2 TRIM BOARD - PTX-2
	FSDG-5-3 TRIM BOARD - PTX-3

NOTE: ALL FIBER CEMENT SIDING (FSDG) TO BE FIELD PAINTED

NOTE:  
REFER TO ELECTRICAL FOR ALL EXTERIOR LIGHTING FIXTURES. LOCATIONS TO BE FINALIZED IN FUTURE ISSUANCE

3 NORTH COURTYARD AREA A ELEVATION

A408 1/8" = 1'-0"

**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota

Mike Krych  
23555 / 06/26/2020  
License Number Date  
DRAWN BY Author  
CHECKED BY Checker  
COMMISSION NUMBER 1393-162

SHEET TITLE

**EXTERIOR  
ELEVATIONS**

SHEET NUMBER

**A408**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1

**GENERAL NOTES**

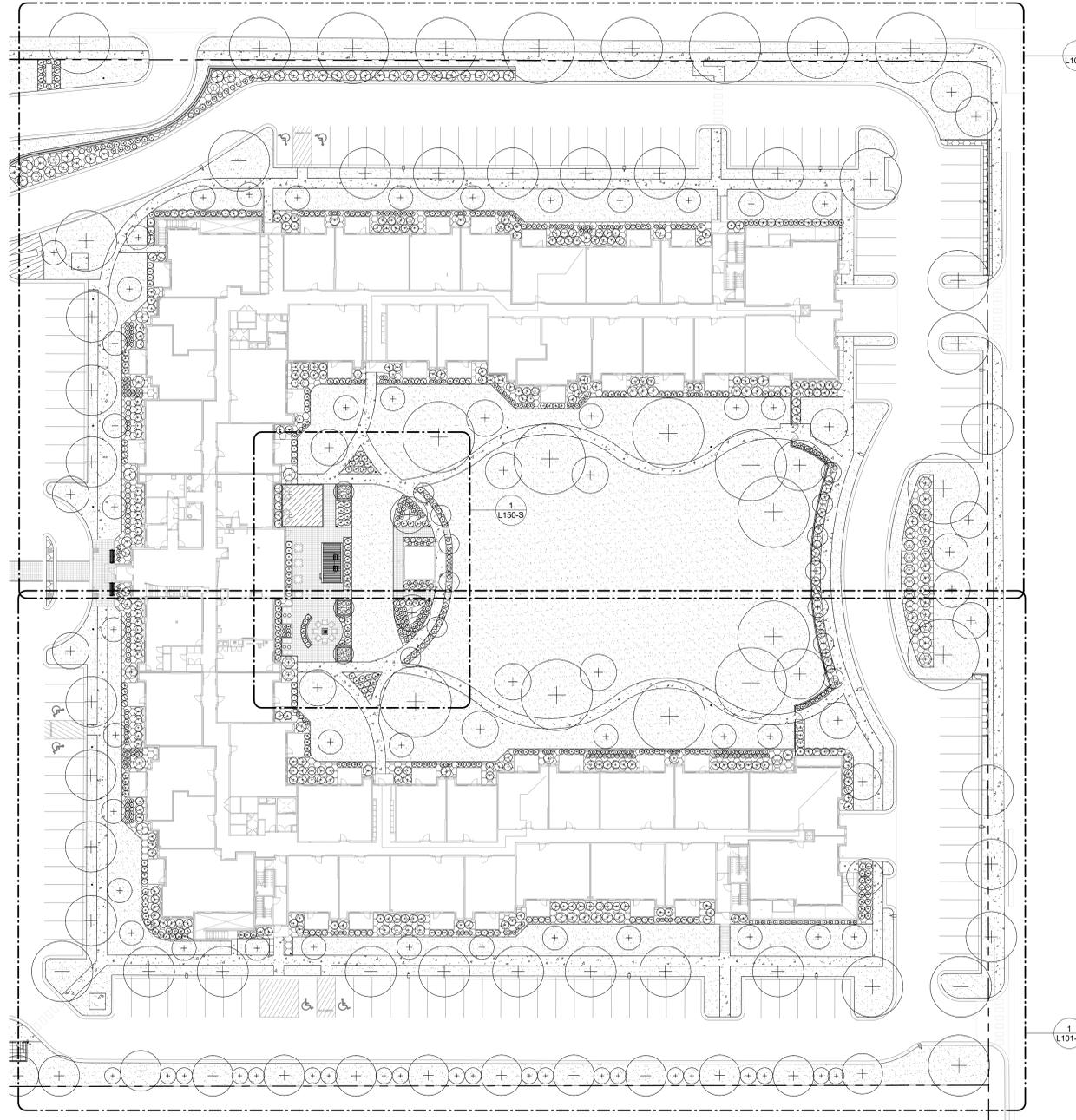
- LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- LANDSCAPE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY CONTRADICT THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.
- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.
- LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION MATERIAL INSTALLATION BEGINS (MINIMUM 10'-0" CLEARANCE).
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. LANDSCAPE CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
- ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN THE ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWINGS(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.
- NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- SOD AREAS DISTURBED DUE TO GRADING SHALL BE REPLACED, UNLESS NOTED OTHERWISE.
- WHERE SOD ADJUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAD PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- PROPOSED PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO Y-BRANCHED AND SHALL BEGIN BRANCHING NO LOWER THAN 5 FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6 FEET ABOVE FINISHED GRADE.
- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL WARRANT NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF THE OWNER ACCEPTANCE. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
- PLANTING AREAS (NOT OVER STRUCTURE) RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 18" DEPTH OF PLANTING SOIL, CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS COMPOST OR MANURE AND 10 PARTS SAND.
- ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER.
- SHRUB BED MASSINGS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH FIBER MAT WEED BARRIER.
- STEEL EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS AND ANNUALS WHERE PLANTING BED MEETS SOD UNLESS OTHERWISE NOTED.
- REFER TO CIVIL FOR SITE DEMOLITION INFORMATION.
- REFER TO CIVIL FOR ADDITIONAL SITE GRADING AND UTILITY INFORMATION.
- IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS SHOWN IN THE PLANT MATERIALS SCHEDULE AND THE PLANS, THE PLANS SHALL GOVERN.
- CONTRACTOR SHALL STAKE OUT LOCATION OF ALL PROPOSED TREES FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

**IRRIGATION NOTES**

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A PERFORMANCE IRRIGATION PLAN AND SPECIFICATIONS AS PART OF THE SCOPE OF WORK WHEN BIDDING THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT SOD/SEED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.
- SHRUB & PERENNIAL BEDS TO BE IRRIGATED WITH DRIP IRRIGATION. SOD TO BE IRRIGATED WITH SPRAY.
- LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WATERING/LAWN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIALS GROWTH REQUIREMENTS.
- LANDSCAPE CONTRACTOR SHALL INSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL PLANTING AREAS.
- COORDINATE IRRIGATION SLEEVING LOCATIONS WITH GENERAL CONTRACTOR.
- RAIN SENSORS TO BE INCLUDED WITHIN THE IRRIGATION DESIGN.
- IRRIGATION LIMITS TO EXTEND TO STREET BACK OF CURB.

**SURVEY NOTES**

- ALL EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE BASED ON AN OWNER-FURNISHED SURVEY. BKV GROUP OFFERS NO GUARANTEE, EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OR RELIABILITY OF THE INDICATED EXISTING CONDITIONS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL CRITICAL EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO, EXISTING BUILDING LOCATIONS, UTILITY LOCATIONS AND INVERT ELEVATIONS, AND EXISTING SITE GRADES PRIOR TO THE START OF WORK.
- ANY OBSERVED DEVIATIONS FROM CONDITIONS INDICATED ON THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT OR LANDSCAPE ARCHITECT'S ATTENTION IMMEDIATELY UPON DISCOVERY. NO WORK SHALL PROCEED IN THE AREAS OF ANY DISCOVERED DEVIATIONS UNTIL THE DIFFERENCES ARE RESOLVED.



**SITE - LANDSCAPE REFERENCE PLAN**

1" = 30'-0"

**SHEET INDEX:**

SHEET NUMBER	SHEET NAME	PERMIT SET - 03/13/2020	BID SET - 04/14/2020	ADDENDUM #1 - 05/12/2020	ISSUE 04	ISSUE 05	ISSUE 06
L001-S	LANDSCAPE TITLE SHEET	X	X	X			
3 - STANDARD SHEETS							
L100-S	SITE - LANDSCAPE PLAN NORTH	X	X	X			
L101-S	SITE - LANDSCAPE PLAN SOUTH	X	X	X			
L102-S	SITE - PLANTING PLAN NORTH	X	X				
L103-S	SITE - PLANTING PLAN SOUTH	X	X	X			
L150-S	COURTYARD - LANDSCAPE PLAN	X	X	X			
L151-S	COURTYARD - PLANTING PLAN	X	X	X			
L200-S	SITE - LAYOUT & SURFACING PLAN NORTH	X	X	X			
L201-S	SITE - LAYOUT & SURFACING PLAN SOUTH	X	X	X			
L202-S	COURTYARD - LAYOUT AND SURFACING PLAN	X	X	X			
L300-S	LANDSCAPE DETAILS	X	X	X			
L301-S	LANDSCAPE DETAILS	X	X	X			

**CERTIFICATION**

DRAWN BY	SB
CHECKED BY	BH
COMMISSION NUMBER	1393-162

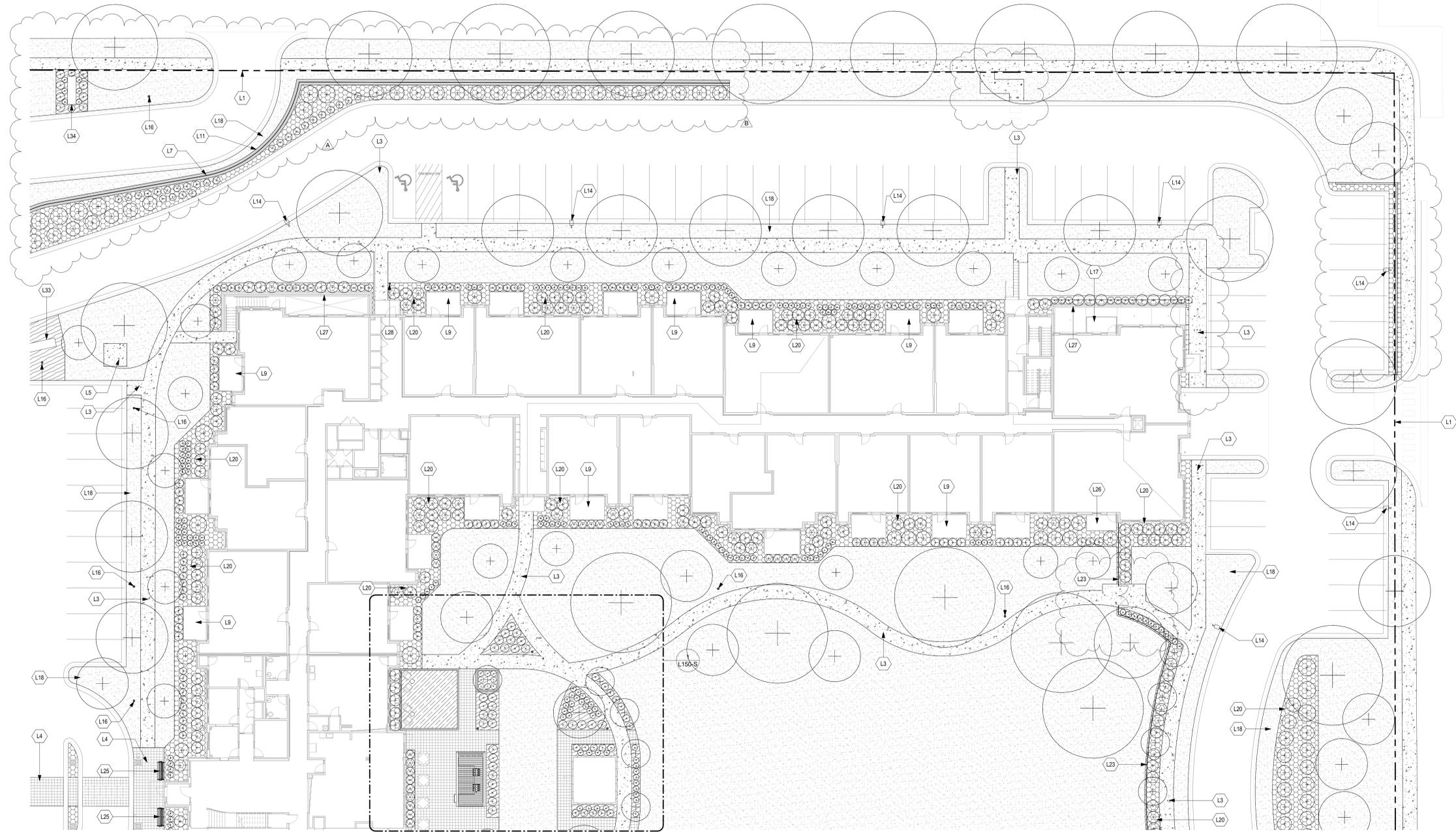
**SHEET TITLE**

**LANDSCAPE  
TITLE SHEET**

**SHEET NUMBER**

**L001-S**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1
B	07/01/2020	ADDENDUM #2

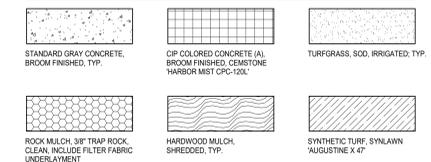


1 SENIOR SITE - LANDSCAPE PLAN NORTH  
L100-S 1/16" = 1'-0"

**KEY NOTES:**

- L1 PROPERTY LINE
- L3 C.I.P. PLAIN CONCRETE WALK. SEE CIVIL
- L4 C.I.P. COLORED CONCRETE, CEMSTONE HARBOR MIST CPC 102-L; JOINTING PER LAYOUT AND SURFACING PLAN, 3/8" SAWN JOINTS. SEE SPEC.
- L5 ELECTRICAL EQUIPMENT PAD, SEE CIVIL
- L7 4" ALUMINUM PICKET FENCE, AMERISTAR MONTAGE PLUS MAJESTIC STYLE; BLACK POWDERCOATED FINISH, SURFACE MOUNTED TO THE TOP OF BIG BLOCK WALL PER MANUFACT. SPEC(S)
- L9 PRIVATE PATIO, C.I.P. PLAIN CONC. SEE ARCH. FOR STOOP CONNECTION
- L11 BIG BLOCK RETAINING WALL, RECON LESEUR COUNTY LIMESTONE; STAIN TO BE SELECTED THROUGH SUBMITTAL PROCESS. SEE CIVIL FOR TOP AND BOTTOM WALL ELEVATIONS. INSTALLED PER MANUFACT. SPEC(S)
- L14 STREET LIGHTING, SET 2' FROM BACK OF CURB WHERE APPLICABLE, SEE ELEC.
- L16 EXTERIOR PEDESTRIAN POLE LIGHTING, SEE ELEC.
- L17 RAISED UNIT DECKS, SEE ARCH.
- L18 TURF GRASS, SOD, INCLUDING IRRIGATION; SEE SPEC
- L20 PLANTING BED, ROCK MULCH, 3" DEPTH TRAP ROCK 3/8" CLEAN W/FABRIC UNDERLAYMENT, PROVIDE AUTOMATED DRIP IRRIGATION AND STEEL LANDSCAPE EDGER, SEE 3L300(S)
- L23 6" AMERISTAR MONTAGE PLUS MAJESTIC STYLE; BLACK POWDERCOATED FINISH, 42" SELF CLOSING GATES WITH PANIC HARDWARE, INSTALLED AT GRADE PER MANUFACT. SPEC(S)
- L25 BENCH; HARPO BY LANDSCAPE FORMS, 69" BACKED WIDE WOOD, DSTMA SEAT, WHITE POWDERCOATED FRAME, INSTALLED PER MANUFACT. SPEC(S), (2 TOTAL UNITS)
- L26 RAISED UNIT BALCONY, SEE ARCH.
- L27 AREA WELL, SEE ARCH.
- L28 ODGIPOD, DIG WASTE STATION WITH ONE PUL. BAG SYSTEM DEPOT-622-B, BLACK FINISH, INSTALLED PER MANUFACT. SPEC(S), (2 TOTAL UNITS)
- L33 DIRECTIONAL SIGN, SEE A015 FOR BASE, SIGNAGE INSERT BY SIGNAGE VENDOR
- L34 MONUMENT SIGN, SEE A015 FOR BASE, SIGNAGE INSERT BY SIGNAGE VENDOR

**GRAPHIC LEGEND:**



CERTIFICATION

DRAWN BY	SB
CHECKED BY	BH
COMMISSION NUMBER	1393-162

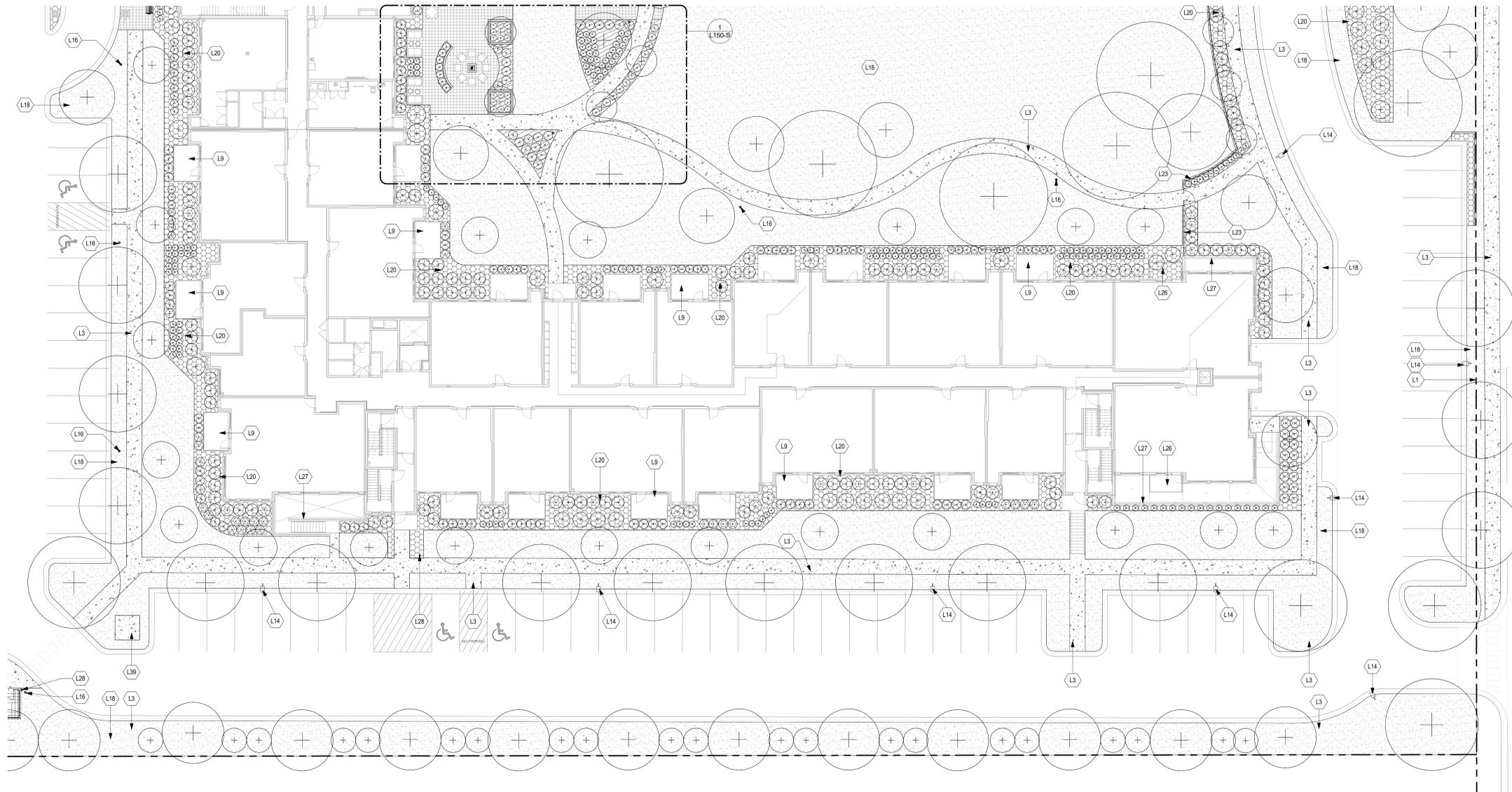
SHEET TITLE

**SITE -  
LANDSCAPE  
PLAN NORTH**

SHEET NUMBER

**L100-S**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1



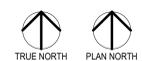
1 SENIOR SITE - LANDSCAPE PLAN SOUTH  
L101-S 1/16" = 1'-0"

**KEY NOTES:**

- L1 PROPERTY LINE
- L3 C.I.P. PLAIN CONCRETE WALK. SEE CIVIL
- L8 PRIVATE PATIO, C.I.P. PLAIN CONC. SEE ARCH. FOR STOOP CONNECTION
- L14 STREET LIGHTING, SET 2' FROM BACK OF CURB WHERE APPLICABLE. SEE ELEC.
- L16 EXTERIOR PEDESTRIAN POLE LIGHTING, SEE ELEC.
- L18 TURF GRASS, SOD, INCLUDING IRRIGATION, SEE SPEC
- L20 PLANTING BED, ROCK MULCH, 3" DEPTH TRAP ROCK 3/8" CLEAN W/FABRIC UNDERLAYMENT, PROVIDE AUTOMATED DRIP IRRIGATION AND STEEL LANDSCAPE EDGER, SEE 3L150-S
- L23 6" AMERISTAR MONTAGE PLUS MAJESTIC STYLE, BLACK POWDERCOATED FINISH, 42" SELF CLOSING GATES WITH PANIC HARDWARE, INSTALLED AT GRADE PER MANUFACT. SPEC(S)
- L26 RAISED UNIT BALCONY, SEE ARCH.
- L27 AREA WELL, SEE ARCH
- L28 DOGPOT, DIG WASTE STATION WITH ONE PUL BAG SYSTEM DEPOT-022-B, BLACK FINISH, INSTALLED PER MANUFACT. SPEC(S), (2 TOTAL UNITS)
- L39 ELECTRICAL EQUIPMENT PAD, SEE CIVIL

**GRAPHIC LEGEND:**

- STANDARD GRAY CONCRETE, BROOM FINISHED, TYP.
- CIP COLORED CONCRETE (A) BROOM FINISHED, CEMSTONE HARBOR MIST CPC-120L
- TURFGRASS, SOD, IRRIGATED, TYP.
- ROCK MULCH, 3/8" TRAP ROCK, CLEAN, INCLUDE FILTER FABRIC UNDERLAYMENT
- HARDWOOD MULCH, SHREDDED, TYP.
- SYNTHETIC TURF, SYNLAWN AUGUSTINE 4-4"



**CERTIFICATION**

DRAWN BY	SB
CHECKED BY	BH
COMMISSION NUMBER	1393-162

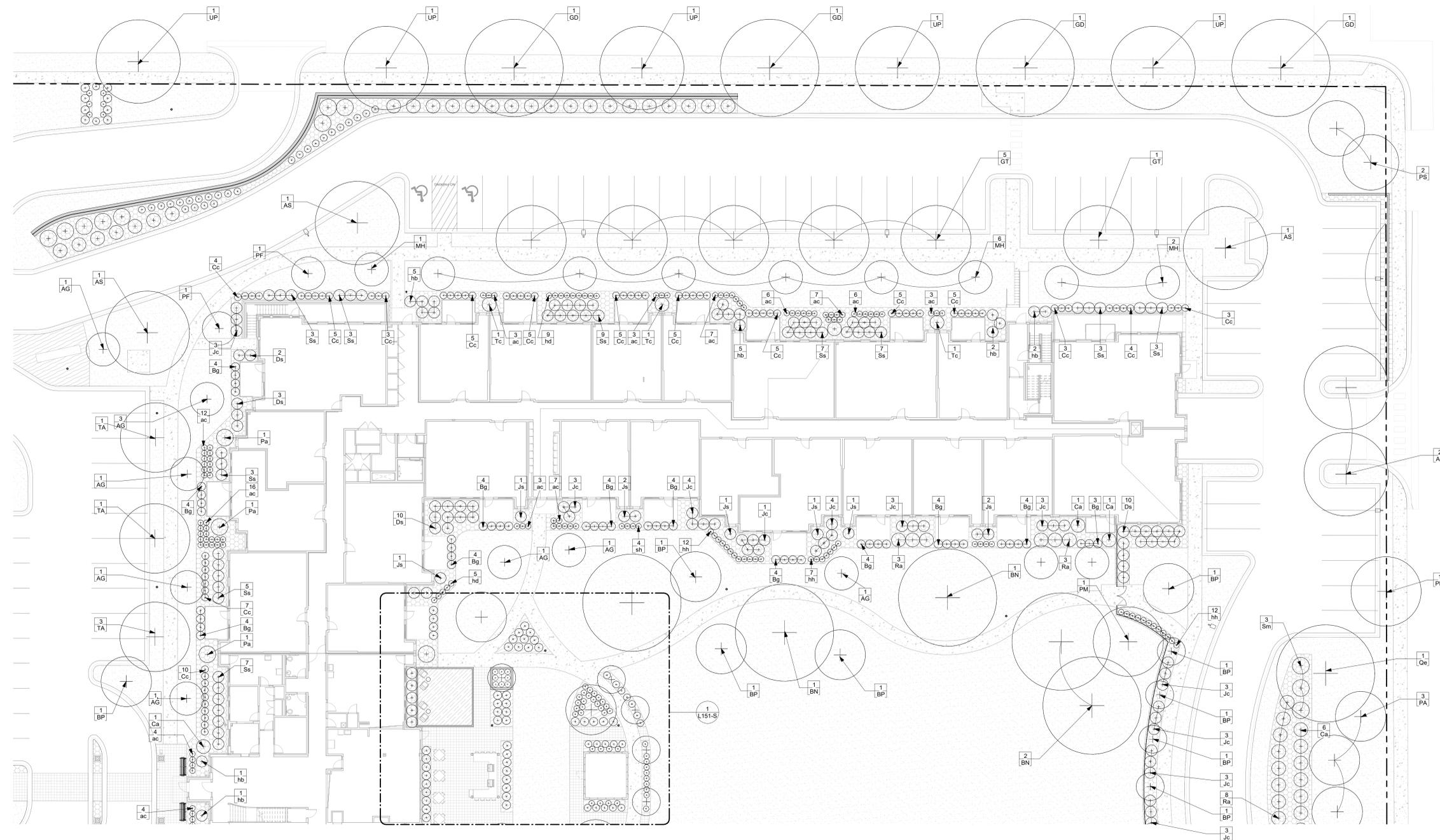
**SHEET TITLE**

**SITE -  
LANDSCAPE  
PLAN SOUTH**

**SHEET NUMBER**

**L101-S**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1



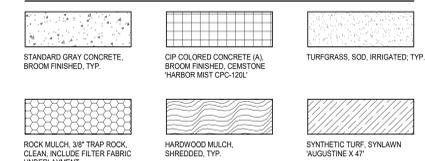
**SENIOR SITE - PLANTING PLAN NORTH**  
L102-S 1/16" = 1'-0"

**PROPOSED PLANT SCHEDULE:**

QTY	SYM	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE
<b>PERENNIALS/VINES/ANNUALS</b>				
136	ac	MAGGIE DALEY ASTILBE	<i>Astilbe chinensis 'Maggie Daley'</i>	#1 CONT.
28	ca	KARL FORESTER GRASS	<i>Calamagrostis x acutiflora 'Karl Forester'</i>	#1 CONT.
38	hb	BLUE ANGEL HOSTA	<i>Hosta 'Blue Angel'</i>	#1 CONT.
69	hd	DESIGNER GENES HOSTA	<i>Hosta 'Designer Genes'</i>	#1 CONT.
85	hb	HAPPY RETURNS DAYLILY	<i>Hemerocallis 'Happy Returns'</i>	#1 CONT.
57	pa	BLUE JEAN BABY RUSSIAN SAGE	<i>Perovskia atriplicifolia 'Blue Jean Baby'</i>	#1 CONT.
28	mh	WALKER'S LOW CATMINT	<i>Nepeta x faassenii 'Walker's Low'</i>	#1 CONT.
85	sp	PIRENE DROPS EED	<i>Sporobolus heterostachys</i>	#1 CONT.
<b>ORNAMENTAL TREES</b>				
25	AG	AUTUMN BRILLIANCE SERVICEBERRY	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	2" CAL.
9	MH	HARVEST GOLD CRABAPPLE	<i>Malus 'Harzozam'</i>	2" CAL.
7	PF	KOREAN SUN PEAR	<i>Pyrus koreanus 'Westwood'</i>	2" CAL.
21	PJ	MOUNTAIN SENTINEL ASPEN	<i>Populus tremuloides 'JFS-colum'</i>	#15 CONT.
3	SR	IVORY SILK JAPANESE TREE LILAC	<i>Syringa reticulata 'Ivory Silk'</i>	2" CAL.
<b>DECIDUOUS TREES</b>				
9	AS	FALL FIESTA SUGAR MAPLE	<i>Acer saccharum 'Ballata'</i>	2.5" CAL.
10	BN	RIVER BIRCH	<i>Betula nigra</i>	2.5" CAL.
13	BP	DAKOTA PINNACLE BIRCH	<i>Betula platyphylla 'Fargo'</i>	2.5" CAL.
16	BP	WHITESPIRE BIRCH (CLUMP)	<i>Betula populifolia 'Whitespire'</i>	2.5" CAL.
4	GD	KENTUCKY COFFEE TREE	<i>Gymnocladia dioica 'Espresso'</i>	2.5" CAL.
14	GT	SKYLINE HONEYLOCUST	<i>Gleditsia triacanthos var. inermis 'Skyline'</i>	2.5" CAL.
6	PM	AMUR CHERRY	<i>Prunus Manchu</i>	2.5" CAL.
2	Oe	NORTHERN PIN OAK	<i>Quercus ellipsoidalis</i>	2.5" CAL.
7	TA	AMERICAN SENTRY LINDEN	<i>Tilia americana 'MikSentry'</i>	2.5" CAL.
5	UP	PATRIOT ELM	<i>Ulmus x 'Patriot'</i>	2.5" CAL.

QTY	SYM	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE
<b>DECIDUOUS SHRUBS</b>				
99	Bg	CHICAGOLAND GREEN BOXWOOD	<i>Buxus glaucoc</i>	#5 CONT.
14	Ca	IVORY HALO DOGWOOD	<i>Cornus alba 'Ballata'</i>	#5 CONT.
133	Cc	SUGARTINA CLEFTRA	<i>Cedra arifolia 'Crystalina' (PP21, 561)</i>	#3 CONT.
38	Cl	TOM THUMB COTONEASTER	<i>Cotoneaster apiculatus 'Tom Thumb'</i>	#5 CONT.
69	Ds	BUTTERFLY BUSH HONEYSUCKLE	<i>Diervilla sessilifolia 'Butterfly'</i>	#5 CONT.
52	Ra	GRO LOW SUMAC	<i>Rhus aromatica 'Gro Low'</i>	#5 CONT.
14	Rn	FLOWER CARPET ROSE	<i>Rosa x 'Noisette'</i>	#5 CONT.
14	Sm	DWARF KOREAN LILAC	<i>Syringa meyeri 'Palibin'</i>	#5 CONT.
78	Ss	SEM FALSE SPIREA	<i>Sorbaria sorbifolia 'Sem'(PP16,336)</i>	#2 CONT.
<b>CONIFEROUS TREES</b>				
7	AC	CONCOLOR FIR	<i>Abies concolor</i>	6" B&B
4	PA	NORWAY SPRUCE	<i>Picea abies</i>	8" B&B
8	PS	WHITE PINE	<i>Pinus strobus</i>	8" B&B
<b>CONIFEROUS SHRUBS</b>				
68	Jc	MANEY JUNIPER	<i>Juniperus chinensis 'Maney'</i>	#5 CONT.
17	Js	SKYROCKET JUNIPER	<i>Juniperus scopulorum 'Skyrocket'</i>	6" B&B
9	Pa	SHERWOOD COMPACT SPRUCE	<i>Picea abies 'Sherwood Compact'</i>	#10 CONT.
9	Tc	RUSHMORE ARBORVITAE	<i>Thuja occidentalis 'Rushmore'</i>	#10 CONT.
8	Tk	EMERALD FOUNTAIN CANADIAN HEMLOCK	<i>Tsuga canadensis</i>	4" H B&B

**GRAPHIC LEGEND:**



**CERTIFICATION**

DRAWN BY	SB
CHECKED BY	BH
COMMISSION NUMBER	1393-162

**SHEET TITLE**

**SITE - PLANTING  
PLAN NORTH**

**SHEET NUMBER**

**L102-S**

Boarman  
Kroos  
Vogel  
Group  
Inc.

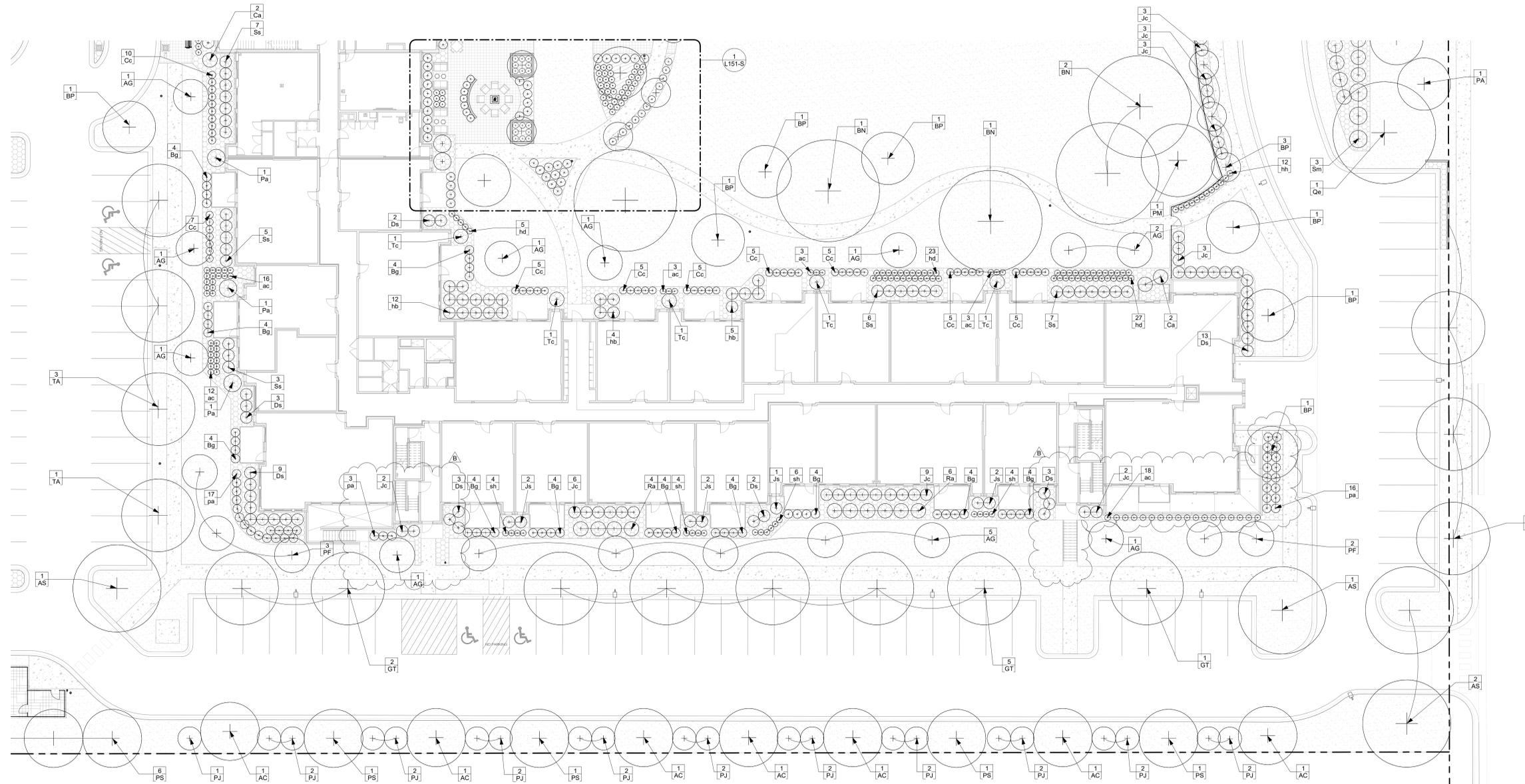
222 North Second Street  
Long & Kees Bldg, Suite 101  
Minneapolis, MN 55401  
Telephone: 612.339.3752  
www.bkvgroup.com  
EOE

CONSULTANTS

PROJECT TITLE

**WEST SAINT  
PAUL SENIOR**

ISSUE #	DATE	DESCRIPTION
	03/13/2020	PERMIT SET
	04/14/2020	BID SET
A	05/12/2020	ADDENDUM #1
B	07/01/2020	ADDENDUM #2

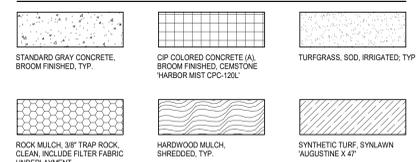


1 SENIOR SITE - PLANTING PLAN SOUTH  
L103-S 1/16" = 1'-0"

**PROPOSED PLANT SCHEDULE:**

QTY	SYM	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE
<b>PERENNIALS/BIENNIALS</b>				
136	ac	MAGGIE DALEY ASTILBE	<i>Astilbe chinensis 'Maggie Daley'</i>	#1 CONT.
23	ca	KARL FORESTER GRASS	<i>Calamagrostis x acutiflora 'Karl Forester'</i>	#1 CONT.
36	hd	BLUE ANGEL HOSTA	<i>Hosta 'Blue Angel'</i>	#1 CONT.
69	hd	DESIGNER GENES HOSTA	<i>Hosta 'Designer Genes'</i>	#1 CONT.
85	hd	HAPPY RETURNS DAYLILY	<i>Heimerocallis 'Happy Returns'</i>	#1 CONT.
57	pa	BLUE JEAN BABY RUSSIAN SAGE	<i>Perovskia atropurpurea 'Blue Jean Baby'</i>	#1 CONT.
28	lh	WALKER'S LOW CATMINT	<i>Nepeta x 'Walker's Low'</i>	#1 CONT.
95	sh	PRAIRIE DROPSIDE	<i>Sporobolus heterolepis</i>	#1 CONT.
<b>ORNAMENTAL TREES</b>				
25	ag	AUTUMN BRILLIANCE SERVICEBERRY	<i>Ameiandchir x grandiflora 'Autumn Brilliance'</i>	2' CAL.
9	mh	HARVEST GOLD CRABAPPLE	<i>Malus 'Harvest Gold'</i>	2' CAL.
7	pf	KOREAN SUN PEAR	<i>Pyrus bursii 'Westwood'</i>	2' CAL.
21	pj	MOUNTAIN SENTINEL ASPEN	<i>Populus tremuloides 'JFS-column'</i>	#15 CONT.
3	sr	IVORY SILK JAPANESE TREE LILAC	<i>Syringa reticulata 'Ivory Silk'</i>	2' CAL.
<b>DECIDUOUS TREES</b>				
9	as	FALL FIESTA SUGAR MAPLE	<i>Acer saccharum 'Ballerat'</i>	2.5' CAL.
10	bn	RIVER BIRCH	<i>Betula nigra</i>	2.5' CAL.
13	bp	DAKOTA PINNACLE BIRCH	<i>Betula platyphylla 'Fargo'</i>	2.5' CAL.
16	bp	WHITESPIRE BIRCH (CLUMP)	<i>Betula populifolia 'Whitespire'</i>	2.5' CAL.
4	gd	KENTUCKY COFFEE TREE	<i>Gymnocladus dioica 'Espresso'</i>	2.5' CAL.
14	gt	SKYLINE HONEYLOCUST	<i>Gleditsia triacanthos var. 'Inermis' 'Skyline'</i>	2.5' CAL.
6	pm	AMUR CHOKECHERRY	<i>Prunus Maschii</i>	2.5' CAL.
2	qe	NORTHERN PIN OAK	<i>Quercus ellipsoidalis</i>	2.5' CAL.
7	ta	AMERICAN SENTRY LINDEN	<i>Tilia americana 'MnKSentry'</i>	2.5' CAL.
5	up	PATRIOT ELM	<i>Ulmus x 'Patriot'</i>	2.5' CAL.
<b>DECIDUOUS SHRUBS</b>				
89	bg	CHICAGO LINDEN GREEN BOXWOOD	<i>Buxus glaucocarpa</i>	#5 CONT.
14	ca	IVORY HALO DOGWOOD	<i>Cornus alba 'Ballerat'</i>	#5 CONT.
133	cc	SUGARTINA CLETHRA	<i>Clethra alnifolia 'Crystalina' (PP21, 561)</i>	#3 CONT.
38	ct	TOM THUMB COTONEASTER	<i>Cotoneaster apiculatus 'Tom Thumb'</i>	#5 CONT.
69	ds	BUTTERFLY BUSH HONEYSUCKLE	<i>Diervilla sessilifolia 'Butterfly'</i>	#5 CONT.
52	ra	GRO LOW SUMAC	<i>Rhus aromatica 'Gro Low'</i>	#5 CONT.
14	rh	FLOWER GARRET ROSE	<i>Rosa x 'Nozem'</i>	#5 CONT.
14	sm	DWARF KOREAN LILAC	<i>Syringa meyeri 'Palibin'</i>	#5 CONT.
78	ss	SEM FALSE SPIREA	<i>Sorbaria sorbifolia 'Sem' (PP16, 336)</i>	#2 CONT.
<b>CONIFEROUS TREES</b>				
7	ac	CONCOLOR FIR	<i>Abies concolor</i>	6' B&B
4	pa	NORWAY SPRUCE	<i>Picea abies</i>	6' B&B
8	ps	WHITE PINE	<i>Pinus strobus</i>	6' B&B
<b>CONIFEROUS SHRUBS</b>				
68	jc	MANEY JUNIPER	<i>Juniperus chinensis 'Maney'</i>	#5 CONT.
17	js	SKYROCKET JUNIPER	<i>Juniperus scopulorum 'Skyrocket'</i>	6' B&B
9	pa	SHERWOOD COMPACT SPRUCE	<i>Picea abies 'Sherwood Compact'</i>	#10 CONT.
9	tc	RUSHMORE ARBORVITAE	<i>Thuja occidentalis 'Rushmore'</i>	#10 CONT.
8	tk	EMERALD FOUNTAIN CANADIAN HEMLOCK	<i>Tsuga canadensis</i>	4' H B&B

**GRAPHIC LEGEND:**



**CERTIFICATION**

DRAWN BY: SB  
CHECKED BY: BH  
COMMISSION NUMBER: 1393-162

**SHEET TITLE**

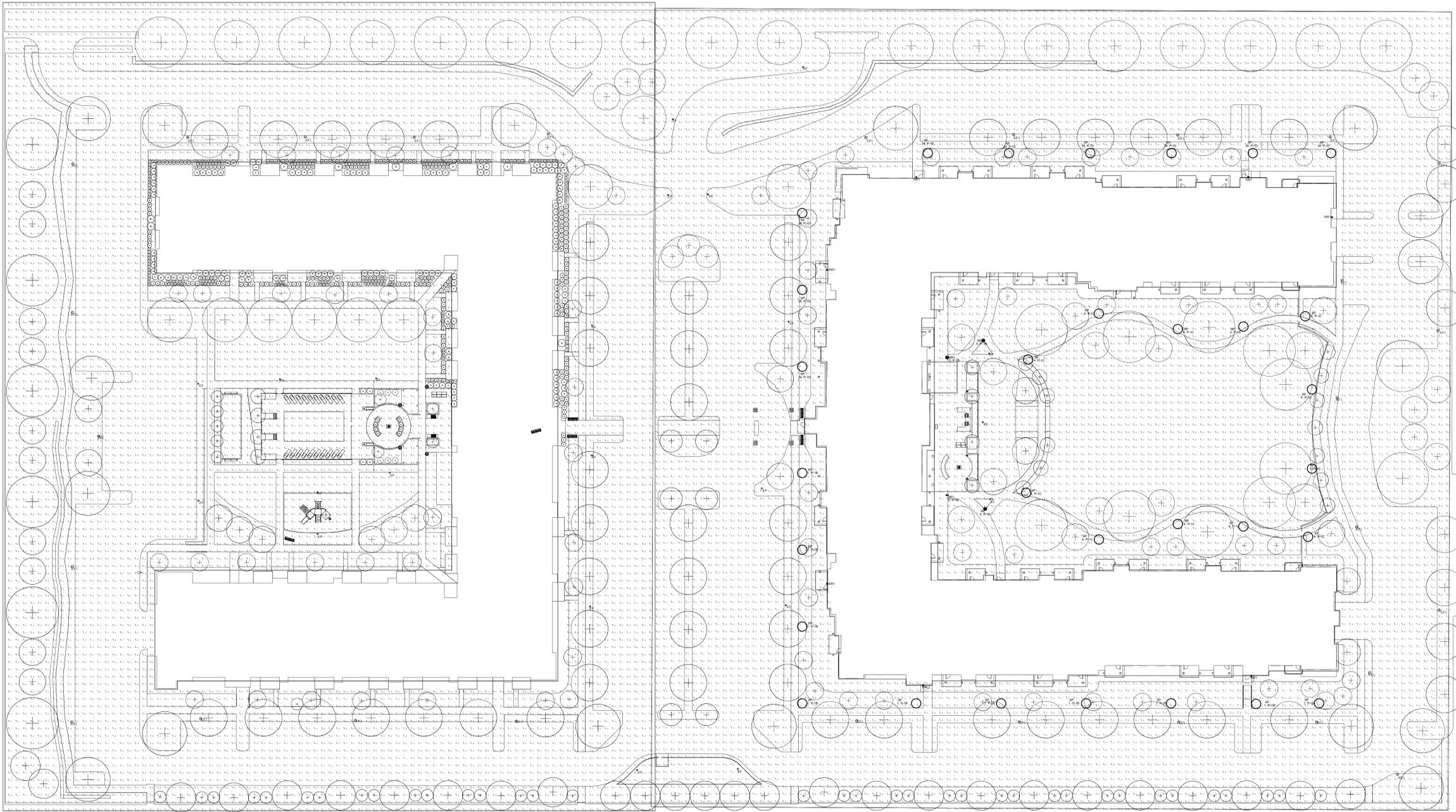
**SITE - PLANTING  
PLAN SOUTH**

**SHEET NUMBER**

**L103-S**

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	GLP	Description
+	22	MRP_LED_42C_1000_30K_SR2_MV0L	SINGLE	N.A.	1.000	MRP LED 42C 1000 30K SR2 MV0LT
○	26	RADI_LED_P5_30K_PATH_HS	SINGLE	N.A.	1.000	RADI LED P5 30K PATH HS

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
WEST ST PAUL FAMILY SITE Workpl	Illuminance	Fc	1.18	11.8	0.0	N.A.	N.A.
WEST SENIOR ST PAUL SITE Workpl	Illuminance	Fc	1.12	9.9	0.0	N.A.	N.A.



**CERTIFICATION**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota

*Chad Kurdi*  
Chad Kurdi  
42878  
License Number

06-25-2020  
Date

DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	1983-162

SHEET TITLE

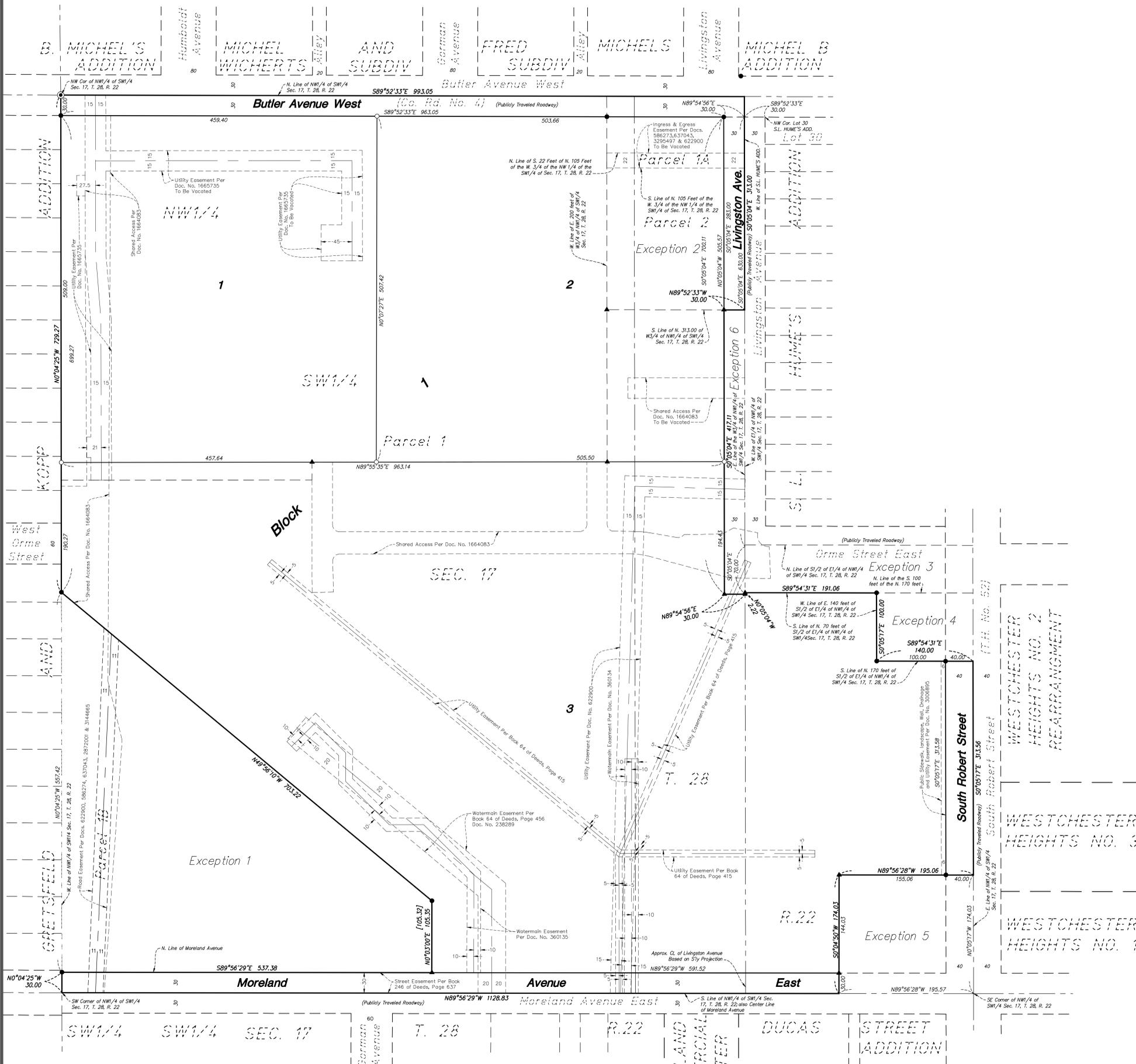
ELECTRICAL SITE  
PLAN W/ CALCS

SHEET NUMBER

**E011**

© 2019 BKV Group





**LEGAL DESCRIPTION**

Parcel 1: All that part of the Northwest Quarter of the Southwest Quarter of Section 17, Township 28 North, Range 22 West, Dakota County, Minnesota, described as the West three-quarters of the said Northwest Quarter of the Southwest Quarter and the South Half of the East Quarter of the Northwest Quarter of the Southwest Quarter of said Section 17, excepting therefrom the following:

Exception 1. Beginning at a point on the West line of said Northwest Quarter of the Southwest Quarter a distance of 30 feet North of the Southwest corner thereof, said point being on the North line of Moreland Avenue; thence North 0 degrees 07 minutes 25 seconds West, (assumed bearing) 557.42 feet along the West line of said Northwest Quarter of the Southwest Quarter; thence South 49 degrees 59 minutes 10 seconds East, 703.22 feet; thence on a bearing of South 105.32 feet to the North line of Moreland Avenue; thence Westerly along said North line of Moreland Avenue 537.38 feet to the beginning; subject to a 22 foot easement along a traveled road in place running from Moreland Avenue Northerly through the aforesaid property.

Exception 2. The North 313.00 feet of the East 200 feet of the West three-quarters of the Northwest Quarter of the Southwest Quarter of said Section 17, subject to an easement over the South 22 feet of the North 105.00 feet thereof.

Exception 3. The North 70 feet of the South Half of the East Quarter of the Northwest Quarter of the Southwest Quarter of said Section 17.

Exception 4. The South 100.00 feet of the North 170.00 feet of the East 140.00 feet of the South Half of the East Quarter of the Northwest Quarter of the Southwest Quarter of said Section 17.

Exception 5. Beginning at the Southeast corner of said Northwest Quarter of the Southwest Quarter; thence North 89 degrees 59 minutes 21 seconds West along the South line of said Quarter Quarter Section a distance of 195.57 feet; thence North 0 degrees 01 minutes 57 seconds East, 174.03 feet; thence South 89 degrees 59 minutes 21 seconds East, 195.05 feet to the East line of said Northwest Quarter of the Southwest Quarter; thence South 0 degrees 08 minutes 21 seconds East, along said East line 174.03 feet to the beginning, subject to South Robert Street and Moreland Avenue.

Exception 6. Beginning at a point 30 feet West of the Northwest corner of Lot 30, S.L. Hume's Addition, West St. Paul, Dakota County, Minnesota; thence South along a line which is the West line of said S. L. Hume's Addition, a distance of 630 feet; thence continuing South along this same line extended a distance of 70 feet; thence West 30 feet; thence North 700 feet; thence East 30 feet to the point of beginning, said described property being in the East one half of the Northwest one quarter of the Southwest one quarter of Section 17, Township 28, Range 22, Dakota County, Minnesota. Abstract Property

Parcel 1A: Easement for vehicular and pedestrian ingress and egress purposes over the South 22 feet of the North 105.00 feet of the East 200 feet of the West three-quarters of the Northwest Quarter of the Southwest Quarter of Section 17, Township 28 North, Range 22 West, for the benefit of Parcel 1, originally created in Quit Claim Deed dated July 27, 1981, filed August 7, 1981, as Document No. 576273, and in Warranty Deed dated December 10, 1973, filed October 14, 1983, as Document No. 637043, and also established in Order dated January 2, 2019, filed March 6, 2019, as Document No. 3295497.

Parcel 1B: 22 foot road easement, for the benefit of Parcel 1, created in Quit Claim Deed dated July 27, 1981, filed August 7, 1981, as Document No. 586274, and in Warranty Deed dated December 10, 1973, filed October 14, 1983, as Document No. 637043, and included in Warranty Deed dated December 30, 2011, filed June 4, 2012, as Document No. 2872001, and in Warranty Deed dated July 29, 2016, filed August 17, 2016, as Document No. 3144665.

Parcel 2: The North 313.00 feet of the East 200.00 feet of the West three quarters of the Northwest Quarter of the Southwest Quarter of Section 17, Township 28, Range 22, Dakota County, Minnesota. Abstract Property

**GENERAL NOTES**

- SURVEYOR:**  
Loucks  
7200 Hemlock Lane, Suite 300  
Plymouth, MN 55330  
763-424-5505
- OWNER/DEVELOPER:**  
Dominium Development and Acquisitions, LLC  
2905 Northwest Blvd, Suite 150  
Plymouth, MN 55441  
763-354-5500
- Prepared March 03, 2020.
  - The address, if disclosed in documents provided to or obtained by the surveyor, or observed while conducting the fieldwork is 1201 Robert Street South and 100 Signal Hills Avenue, West St. Paul, MN 55118.
  - The bearings for this survey are based on the Dakota County Coordinate System NAD 83 (1986 Adjust).
  - Benchmark: MNDOT 1908 J, GSJD Station # 106308 Located at the junction of Hwy. 952A and Butler Ave. in W. St. Paul, 38.0 feet west of southbound Hwy 952A, 53.0 feet south of eastbound Butler Ave., 17.2 feet west of a stop sign light, 13.0 feet south of south corner of utility box, 1.5 feet east of a witness post. Elevation = 995.36 (NGVD29)
  - Site Benchmark: Top nut of fire hydrant located in the northwest quadrant of Orme Street East and South Robert Street. Elevation = 995.76 (NGVD29)
  - This property is contained in Flood Insurance Rate Map, Community Panel No. 27037C0040E, and is a non-printed panel (no special flood hazard areas).
  - The field work was completed on September 16, 2019.

**ZONING INFORMATION**

Current Zoning: PRD (Planned Residential Development)  
Proposed Zoning: PRD (Planned Residential Development)  
Parking Setback: 30 Feet  
Front Building Setback: 10 Feet  
Side/Rear Building Setback: 20 Feet

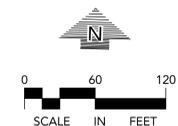
**SITE DATA**

Areas  
Total Property Area = 1,263,058 +/- square feet or 29.00 +/- acres  
Right of Way Dedication Area = 84,691 +/- square feet or 1.94 +/- acres  
Net Property Area = 1,178,367 +/- square feet or 27.06 +/- acres

Lot 1 Area = 233,023 +/- square feet or 5.35 +/- acres  
Lot 2 Area = 255,595 +/- square feet or 5.87 +/- acres  
Lot 3 Area = 689,749 +/- square feet or 15.84 +/- acres

**LEGEND**

- FOUND OPEN IRON MONUMENT UNLESS SHOWN OTHERWISE
- SET 1/2 INCH X 14 INCH IRON MONUMENT, MARKED "LS 48988"
- △ SET NAIL
- ▲ FOUND PK NAIL
- | | RECORD DOCUMENT



**KMART STORE & SIGNAL HILLS SHOPPING CENTER**  
1201 ROBERT STREET SOUTH AND 100 SIGNAL HILLS AVENUE WEST ST. PAUL, MN 55118

**DOMINIUM DEVELOPMENT AND ACQUISITIONS, LLC**  
2905 NORTHWEST BLVD SUITE 150 PLYMOUTH, MN 55441

**LOUCKS**  
PLANNING CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL  
7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369 763.424.5505 www.louckscinc.com

**CADD QUALIFICATION**

CADD files prepared by the Consultant for this project are the property of the Consultant and shall not be used for any other project. These CADD files shall not be used for reproduction of any part of the project without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intellectual or contractual rights, additions, or deletions to these CADD files shall be made in the field of the original drawing and not in electronic or digital form. The user shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

**SUBMITTALS/REVISIONS**

03/10/2020	SURVEY ISSUED
------------	---------------

**PROFESSIONAL SIGNATURE**

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.  
*Max L. Stanislawski*

License No. 48988  
Date 03/10/2020

**QUALITY CONTROL**

Loucks Project No. 05749A  
Project Lead: MLS  
Drawn By: NRS  
Checked By: SKS  
Field Crew

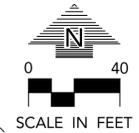
**VICINITY MAP**



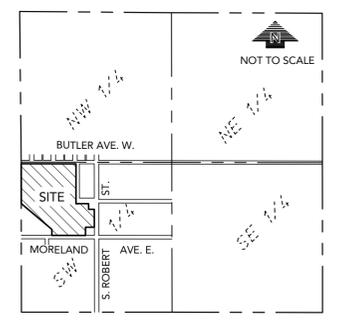
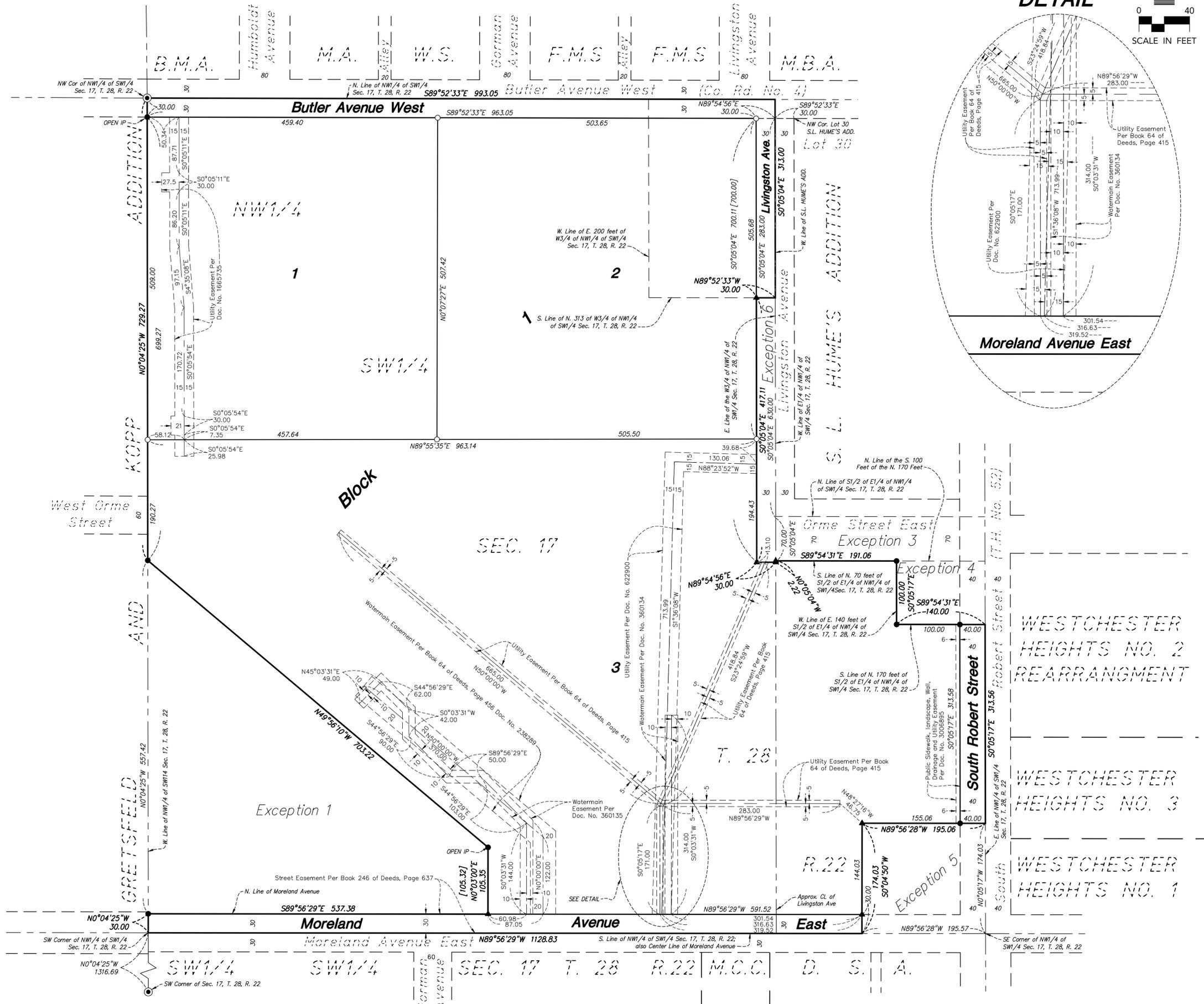
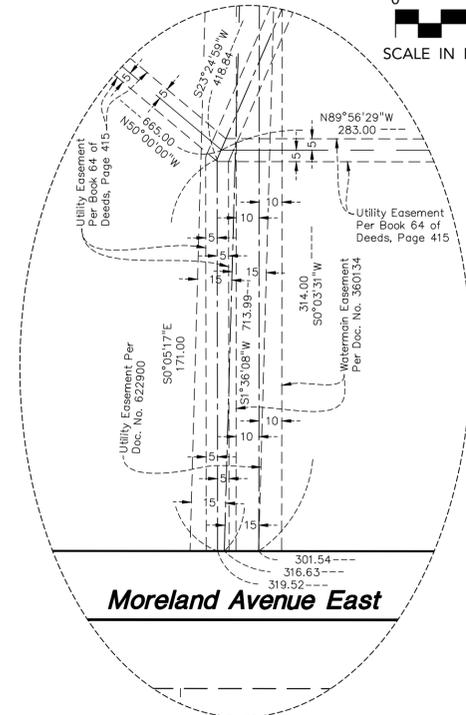
**PRELIMINARY PLAT OF WSP LEASED HOUSING**

# WSP LEASED HOUSING

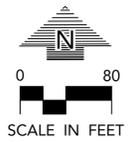
## DETAIL



- DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET, MARKED "LS 48988"
  - △ DENOTES "PK NAIL" SET
  - DENOTES FOUND 1/2 INCH IRON MONUMENT, CAPPED "LS 48988", UNLESS OTHERWISE SHOWN
  - ▲ DENOTES FOUND "PK NAIL"
  - ⊙ DENOTES FOUND ANOKA COUNTY CAST IRON MONUMENT
- B.M.A. DENOTES B. MICHEL'S ADDITION  
M.A.W.S. DENOTES MICHEL AND WICHERTS SUBDIVISION  
F.M.S. DENOTES FRED MICHEL SUBDIVISION  
M.B.A. DENOTES MICHEL B. ADDITION  
D.S.A. DENOTES DUCAS STREET ADDITION  
M.C.C. DENOTES MORELAND COMMERCIAL CENTER
- [ ] DENOTES PER DESCRIPTION



SECTION 17, TOWNSHIP 28, RANGE 22, DAKOTA COUNTY, MINNESOTA



# WSP LEASED HOUSING

**KNOW ALL PERSONS BY THESE PRESENTS:** That West St. Paul Leased Housing Associates I, LLLP and West St. Paul Leased Housing Associates II, LLLP, fee owners of the following described property situated in the County of Dakota, State of Minnesota, to wit:

All that part of the Northwest Quarter of the Southwest Quarter of Section 17, Township 28 North, Range 22 West, Dakota County, Minnesota, described as the West three-quarters of the said Northwest Quarter of the Southwest Quarter and the South Half of the East Quarter of the Northwest Quarter of the Southwest Quarter of said Section 17, excepting therefrom the following:

Exception 1. Beginning at a point on the west line of said Northwest Quarter of the Southwest Quarter a distance of 30 feet North of the Southwest corner thereof, said point being on the north line of Moreland Avenue; thence North 0 degrees 07 minutes 25 seconds West (assumed bearing) 557.42 feet along the west line of said Northwest Quarter of the Southwest Quarter; thence South 49 degrees 59 minutes 10 seconds East, 703.22 feet; thence on a bearing of South 105.32 feet to the north line of Moreland Avenue; thence Westerly along said north line of Moreland Avenue 537.38 feet to the beginning.

Exception 2. The North 313 feet of the East 200 feet of the West three-quarters of the Northwest Quarter of the Southwest Quarter of said Section 17.

Exception 3. The North 70 feet of the South Half of the East Quarter of the Northwest Quarter of the Southwest Quarter of said Section 17.

Exception 4. The South 100 feet of the North 170 feet of the East 140 feet of the South Half of the East Quarter of the Northwest Quarter of the Southwest Quarter of said Section 17.

Exception 5. Beginning at the Southeast corner of said Northwest Quarter of the Southwest Quarter; thence North 89 degrees 59 minutes 21 seconds West along the south line of said Quarter Quarter Section a distance of 195.57 feet; thence North 0 degrees 01 minute 57 seconds East, 174.03 feet; thence South 89 degrees 59 minutes 21 seconds East, 195.05 feet to the east line of said Northwest Quarter of the Southwest Quarter; thence South 0 degrees 08 minutes 21 seconds East, along said east line 174.03 feet to the beginning.

Exception 6. Beginning at a point 30 feet West of the Northwest corner of Lot 30, S.L. Hume's Addition, West St. Paul, Dakota County, Minnesota; thence South along a line which is the west line of said S. L. Hume's Addition, a distance of 630 feet; thence continuing South along this same line extended a distance of 70 feet; thence West 30 feet; thence North 700 feet; thence East 30 feet to the point of beginning, said described property being in the East one half of the Northwest one quarter of the Southwest one quarter of Section 17, Township 28, Range 22, Dakota County, Minnesota.

AND

The North 313 feet of the East 200 feet of the West three quarters of the Northwest Quarter of the Southwest Quarter of Section 17, Township 28, Range 22, Dakota County, Minnesota.

Has caused the same to be surveyed and platted as WSP LEASED HOUSING, and does hereby dedicate to the public for public use the public way(s) as created by this plat.

In witness whereof said West St. Paul Leased Housing Associates I, LLLP, a Minnesota limited liability limited partnership, has caused these presents to be signed by its General Partner this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

West St. Paul Leased Housing Associates I, LLLP  
By: West St. Paul Leased Housing Associates I, LLC, its General Partner

\_\_\_\_\_  
Signature Printed Name, Title

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, by Signer's Name, as Signer's Title of West St. Paul Leased Housing Associates I, LLC, a Minnesota limited liability company, General Partner of West St. Paul Leased Housing Associates I, LLLP, a Minnesota limited liability limited partnership on behalf of the partnership.

\_\_\_\_\_  
Signature Printed Name, Notary  
Notary Public, \_\_\_\_\_ County, \_\_\_\_\_  
My Commission Expires \_\_\_\_\_

In witness whereof said West St. Paul Leased Housing Associates II, LLLP, a Minnesota limited liability limited partnership, has caused these presents to be signed by its General Partner this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

West St. Paul Leased Housing Associates II, LLLP  
By: West St. Paul Leased Housing Associates II, LLC, its General Partner

\_\_\_\_\_  
Signature Printed Name, Title

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, by Signer's Name, as Signer's Title of West St. Paul Leased Housing Associates II, LLC, a Minnesota limited liability company, General Partner of West St. Paul Leased Housing Associates II, LLLP, a Minnesota limited liability limited partnership on behalf of the partnership.

\_\_\_\_\_  
Signature Printed Name, Notary  
Notary Public, \_\_\_\_\_ County, \_\_\_\_\_  
My Commission Expires \_\_\_\_\_

## SURVEYORS CERTIFICATION

I Max L. Stanislawski do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this Plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
Max L. Stanislawski, Licensed Land Surveyor,  
Minnesota License No. 48988

STATE OF MINNESOTA  
COUNTY OF HENNEPIN

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, by Max L. Stanislawski.

\_\_\_\_\_  
Signature Printed Name, Notary  
Notary Public, Hennepin County, Minnesota  
My Commission Expires January 31, 2020

## CITY PLANNING COMMISSION OF WEST ST. PAUL, MINNESOTA

Approved by the planning commission of the city of West St. Paul, Minnesota, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

By: \_\_\_\_\_  
Chair

## CITY COUNCIL OF WEST ST. PAUL, MINNESOTA

This plat was approved by the City Council of the city of West St. Paul, Minnesota, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_ and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subd.2.

By: \_\_\_\_\_ By: \_\_\_\_\_  
Mayor Clerk

## DAKOTA COUNTY SURVEYOR, MINNESOTA

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

By: \_\_\_\_\_  
Todd Tollefson, Dakota County Surveyor

## DAKOTA COUNTY DEPARTMENT OF PROPERTY TAXATION AND RECORDS, MINNESOTA

Pursuant to Minnesota Statutes, Section 505.021 Subd. 9, taxes payable in the year 20\_\_\_\_\_ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer has been entered on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

By: \_\_\_\_\_  
Amy A. Koethe, Department of Property Taxation and Records

## DAKOTA COUNTY RECORDER, MINNESOTA

I hereby certify that this plat of WSP LEASED HOUSING was filed in the Office of the County Recorder for public record this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ M. as Document No. \_\_\_\_\_.

By: \_\_\_\_\_  
Amy A. Koethe, County Recorder