



City Hall
 1616 Humboldt Avenue
 West St. Paul, MN 55118
 651-552-4100
 FAX 651-552-4190
www.wspmn.gov

SITE PLAN APPLICATION

Filing Fee: \$275.00
 Escrow Amount: \$1,300.00
 Total Fees: \$ 1,575

OFFICE USE ONLY	
Case No:	<u>PC 20-10</u>
Date Received:	<u>08/20/2020</u>
Receipt No:	<u>2020-1155</u>
60 Day Date:	<u>10/19/2020</u>

Street Address of Parcel: 1700 Marthaler Ln

Name of Applicant: Maureen Haggerty Phone # 651-470-5386
 Address of Applicant: 565 Midwest Trl N Email: highmarkdobes@gmail.com
Lake Elmo, MN 55042

Name of Owner: Maureen Haggerty Phone # 651-470-5386
 Address of Owner: same Email: same

SITE INFORMATION

Legal/PID # of the Property Involved: 427580001010

Present Zoning: I-1 Light Industrial

Proposed Use of Parcel: Same as current use: private 1 hour dog training classes, but year-round with an enclosed building, like our other locations. Currently we only have a pavillion structure so classes are only offered 5 months of the year, outdoors, and dependent on weather.

What will be the effect(s) on existing and anticipated traffic conditions, including parking facilities on adjacent streets: No effect. Exact same business. We offer private 1-hour classes of up to 8 clients led by 1 instructor/employee. We currently offer classes end of May to early October. We would like a building to offer our classes year round like our other Twin Cities locations.

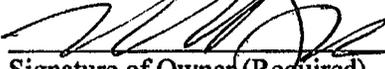
EXHIBITS REQUIRED

An electronic copy as well as four (4) 22x34 and twenty (20) 11x17 copies in sets and folded plans, showing application information as follows:

- a. A survey, scaled and dimensioned, site plan showing pertinent existing conditions, such as: parking layout, access provisions, structure locations, drainage, lot area, and yard dimensions, including but not limited to the surrounding parcels within 150 feet.
- b. A complete set of preliminary drawings prepared and signed by a registered civil engineer, architect, and/or landscape architect showing:
 - i. A site plan indicating parking layout, access provisions, structure locations, any fences, walls, or other screening, including height and type of material, landscaping, drainage, trees and shrubbery, including types, locations, and sizes,
 - ii. Building elevations, including finishes on all buildings on all sides,
 - iii. All lighting provisions on site, including type, location, and lumens affecting the surrounding parcels and streets,
 - iv. Curb type and location on site, and
 - v. Proposed plans for sidewalk to service, parking, recreation, and service areas within the site.
- c. Stormwater Management information, including:
 - i. Modeling showing proposed rates are meeting the existing rates for the Atlas-14, 10- and 100-year storm events,
 - ii. Existing and proposed drainage area maps,
 - iii. Utility plan showing existing and proposed storm sewer (if applicable) to verify modeling,
 - iv. Site grading plan,
 - v. If proposing infiltration, soil borings should be submitted to confirm adequate separation,
 - vi. If disturbing more than one acre, water quality modeling showing a 50% total phosphorus removal from runoff
 - vii. If creating more than an acre of net new impervious, volume control calculations to show 1" over the net increase in impervious being infiltrated.

ACKNOWLEDGE AND SIGNATURE

The undersigned hereby represents upon all penalties of law, for the purpose of inducing the City of West St Paul to take action herein requested, that all statements herein are true and that all work herein mentioned will be done in accordance with the Ordinances and all Codes of the City of West St Paul and the State of Minnesota.


Signature of Owner (Required)

651-470-5386
Phone Number

Signature of Applicant (If different)

Phone Number

NOTE: All Materials relevant to this Application must be filed on or before the dates listed on the Operating Procedures for Applicants page. The Planning Commission holds its regular meeting at 7:00pm on the third Tuesday of each month.

LAPSE OF SITE PLAN: An approved site plan shall lapse and become null and void six months following the date on which the Plat was approved, unless prior to the expiration of six months a building permit is issued by the Building Official and construction is commenced and diligently pursued toward completion on the subject site. An approved Site Plan may be renewed once for a period of one year by the City Council.

FEES

- 1. The fees to be paid by each applicant for each zoning request shall be as prescribed by the City Council. Fees shall be payable at the time applications are filed with the Zoning Administrator and are not refundable unless the application is withdrawn prior to being sent for legal publication and notice. There shall be no fee in the case of applications filed in the public interest by the City Council or by the Planning Commission. Fees shall include application fee, filing fees, consultant, legal, planning, and engineering fees.
- 2. Applicants shall deposit with the City, together with the application filing fees, the sums required by Council resolution toward prepayment of the Consultants and Attorney's expenses and all costs to be billed and charged to the City. The prepayment amounts shall be a credit toward all reasonable fees and expenses charged by the Consultants to the City in the investigation report and recommendation to the City Council concerning the application. All reasonable expenses and fees, in excess of the deposit, shall be paid by the applicant to the City within 30 days of final action on the matter by the City. If not paid within 30 days, the account shall be deemed delinquent. If the fees and expenses incurred by the City from the Consultants are less than the amount of deposit, such excess shall be returned to the applicant upon final action by the City in said manner.

**CITY OF WEST ST. PAUL, MN
NOTICE OF PUBLIC HEARING**

The listed items below will be a Public Hearing at the Planning Commission Meeting Tuesday, September 15, 2020 at 6:30 pm and a Public Hearing at the City Council Meeting Monday, September 28, 2020 at 6:30 p.m.:

**PC Case 20-10 – Site Plan Review for the Expansion of an Existing Building at 1700
Marthaler Lane – Maureen Haggerty**

If you have any questions regarding the hearing item listed above, please contact Melissa Sonnek, City Planner at (651) 552-4134.

For Informational Purposes Only – Not for Publication

Shirley Buecksler
City Clerk

Published: September 2, 2020
Twin Cities Pioneer Press

Posted: September 3, 2020
City of West St. Paul

To: **Planning Commission**
From: **Melissa Sonnek, City Planner**
Date: **September 15, 2020**

Case 20-10 – Site Plan Review for the Expansion of an Existing Building at 1700 Marthaler Ln – Maureen Haggerty

REQUEST:

Maureen Haggerty, owner of The Canine Coach, has submitted a site plan application for the expansion of an existing building at 1700 Marthaler Lane. The current facility is 1,984 square feet, most of which is open with just a roof covering. The expansion will create an additional 1,596 square feet as well as enclose the existing structure to allow for dog training courses to be held year round rather than just during the warmer months of the year.

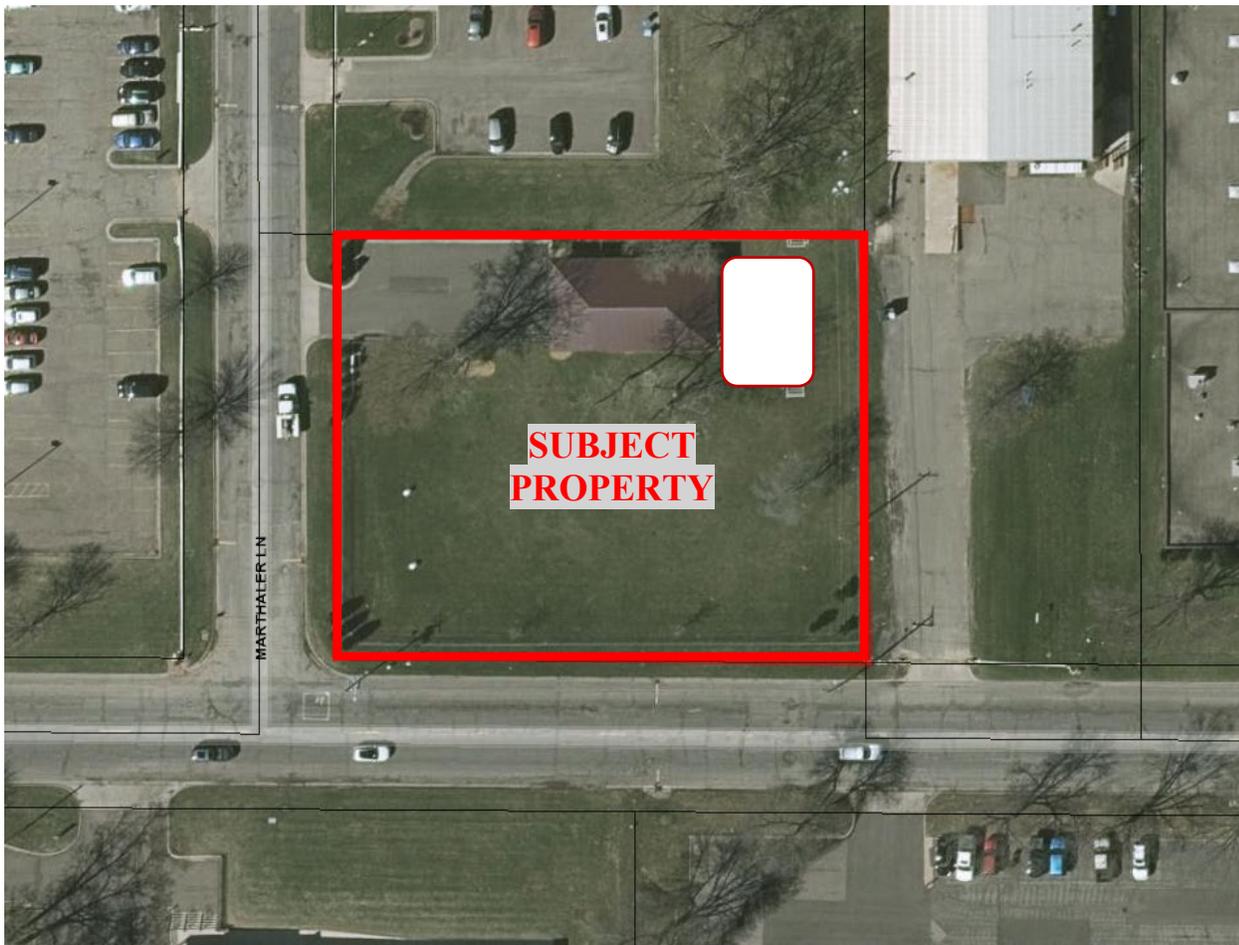
Attachments:

Application

Notice

Memo from Env. Comm.

Submitted plans



CURRENT USES AND ZONING:

	Use	Zoning
Subject Property	Dog Training Facility	I1 – Light Industrial
Properties to North	Office – Enterprise Freight	I1 – Light Industrial
Properties to East	Office – Century Link	I1 – Light Industrial
Properties to South	Pharmaceutical Lab - Tapemark	I1 – Light Industrial
Properties to West	Office - Tapemark	I1 – Light Industrial

1) SITE PLAN ANALYSIS:

Setbacks

The proposed site plan complies with all of the parking and building setbacks as detailed by the code.

Building

	Code Setbacks	Proposed Setbacks
Front (w)	20 – 90ft	89ft
Rear (e)	20ft min.	20.2ft
Side (n)	10ft min.	10ft
Side (s) <i>Adj to Street</i>	20ft min.	127.8ft

Parking – Existing

	Code Setbacks	Proposed Setbacks
Front (w)	10ft min.	10ft
Rear (e)	10ft min.	120.2ft
Side (n)	0ft	2ft
Side (s) <i>Adj to Street</i>	20ft min.	127.8ft

Parking Counts

The parking lot will remain unchanged as the intensity of the use will not change, but rather allow for year round use. The existing parking lot contains eight parking stalls, this number was approved with the original site plan approval in 2010.

The existing parking lot is in good condition, however, the striping has wore off. As a condition of approval, City Staff is recommending that the applicant repaint the parking lot to designate the 7 traditional and 1 handicap stall.

Drive Aisle and Parking Stall Dimensions

The existing drive aisle (22 ft.) and parking stalls (20 ft. depth & 9 ft. width) are complaint with code requirements.

Curbing

The existing parking lot includes B612 curbing as required by code.

Lighting

The submitted lighting plans do not contain information on lighting levels or foot-candles. Therefore, City Staff is requiring as a condition of approval that all lighting levels must not exceed zero foot-candles at all abutting property lines, and no direct glare may extend into the public street, public open space, or neighboring properties.

Landscaping

The submitted plans detail the removal of 1 cottonwood tree (12 caliper inches). The zoning ordinance requires that whenever the removal of quality trees occurs, a minimum of 30 percent must be replaced. Which for this site would be 4 caliper inches.

City Code also states that for every 20 feet of lineal property line, one quality tree is required on site. This site measures 763.69 lineal feet of property line, which would require 38 trees or 95 caliper inches. The site currently has (minus the one removal) 24 trees on site totaling to 133.5 caliper inches. While the total number of trees is not met, City Staff is comfortable with the existing landscaping since the caliper inches portion of the requirement is met.

City Staff recommends as a condition of approval that the applicant plant a replacement tree measuring a minimum of 4 caliper inches as well as plant new shrubs in the front of the building since the ones currently on site are in poor condition

Environmental Committee Review

The Environmental Committee reviewed the proposed landscape plan at their September 2nd, 2020 meeting. The committee discussed and reviewed the plan and were in favor of the Staff recommended conditions of the one tree replacement planting, measuring at least 4 inches in diameter, as well as replacing the shrubs in front of the building with planter boxes as detailed below.

Members are recommending approval of the plans with following additions:

- Minimum replacement of one tree measuring four caliper inches,
- Replace existing mulch and plantings in the front of the building with planter boxes, and
- All annuals/perennials planted on site to be pollinator friendly and not treated with neonicotinoids.

Staff is recommending as a condition of approval that the applicant consider the additions of the Environmental Committee as detailed in the memo dated September 8, 2020.

Construction Materials/Design

Code requires that at least 60% of a building be primary materials, such as stucco, brick, glass, or other comparable material; and that no more than 40% per comprised of secondary materials such as colored block, composite wood, or metal paneling. The applicant is proposing a combination of brick (primary), glass (primary), and metal (secondary).



West (Front) Building Elevation

The code also requires visual relief for any building walls that are longer than 60 ft. in length, both the north and south elevations have walls that stretch longer than 60ft. The visual relief requirement can be met by incorporating two of the following items:

- Divide the façade architecturally with different materials or textures;
- Create horizontal offsets of at least two feet in depth;
- Create vertical offsets in the roof line of at least two feet; and/or
- Construction of windows on the first floor that are recessed horizontally at least one foot.

City Staff is recommending as a condition of approval that the applicant incorporate visual relief measures to the north and south elevations.

Signage

The proposed plans do not include additional signage at this time. Staff is recommending a condition of approval requiring that all signage meet the requirements of Section 153 of the Zoning Ordinance.

STAFF RECOMMENDATION:

Staff recommends APPROVAL of the SITE PLAN for the expansion of an existing building at 1700 Marthaler Ln. subject to the submitted plans and the following conditions:

1. The applicant shall apply for and obtain all applicable building and sign permits,
2. The applicant shall restripe the parking lot to delineate the parking stalls,
3. The applicant shall ensure that all lighting levels will not exceed zero foot candles at all abutting property lines, and no direct glare shall extend into the public street, public open space, or neighboring properties,
4. The applicant shall plant at least one tree measuring 4 caliper inches as well as new shrubs/planter boxes along the front (west) building façade,
5. The applicant shall incorporate visual relief measures to the north and south elevations to meet the minimum requirements,
6. All signage must comply with section 153 of the zoning ordinance, and
7. The applicant is to consider the additions made by the Environmental Committee as detailed in the memo dated September 8, 2020.

GENERAL NOTES AND SPECIFICATIONS

- The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to those materials and labor as defined by the Cleary Building Corp. contract. Additional materials or accessories that are not being provided by Cleary Building Corp. may be shown on plans for context or building code compliance.
 - This building is designed in accordance with the following codes and specifications:
2020 Minnesota Building Code
2018 Edition Of "National Design Specifications for Wood Construction"
- Use Group(s) Classification: _____ B
 Building Use: _____ Dog Training Facility
 Type of Construction: _____ Type VB
 Building Addition Square Footage: _____ 1596 Sq. Ft.
 Existing Building Square Footage: _____ 1984 Sq. Ft.
 Building Gross Square Footage: _____ 3580 Sq. Ft.
- Building Design Loads:
 Design Snow Load: _____ 50 PSF Ground Snow Load (P_g)
 _____ 35 PSF (for balanced roof snow load)
 Design Wind Speed: _____ 115 MPH (Exp C)
 Seismic Use Group: _____ I
 Seismic Design Category: _____ A
- Maximum Considered Earthquake Ground Motion for:
 0.2 Second Spectral Response (S_s): _____ 4.8%g
 1.0 Second Spectral Response ($S1.0$): _____ 2.8%g
- All lumber, unless noted otherwise, shall be S4S #2 SPF or better. All lumber embedded in the ground shall be treated with Chromated Copper Arsenate to a retention level of .60 lbs. per cubic foot.
 - Grading should be such that the surface water is drained away from the foundation. Minimum grade would be six inches of vertical drop per ten feet of horizontal away from the foundation (5%).
 - Fill used for concrete floor slab sub grade, if present, shall be reasonably graded granular material. Fill used in columns holes shall be the excavated soil unless noted otherwise. All fill shall be free from debris, stones over 4" and frozen material.
 - Electrical work is not a part of this drawing and shall be installed as per applicable codes.
 - Heating, ventilating, and air conditioning work is not a part of this drawing and shall be installed as per applicable codes.
 - Plumbing work is not a part of this drawing and shall be installed as per applicable codes.
 - All nails are to be threaded hardened steel unless otherwise noted.
 - This design is based on a building site with sand, silty sand, clayey sand, silty gravel, clayey gravel soil. As per the IBC building code and Referenced Table 1806.2, an assumed soil bearing design value of 2000 psf has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

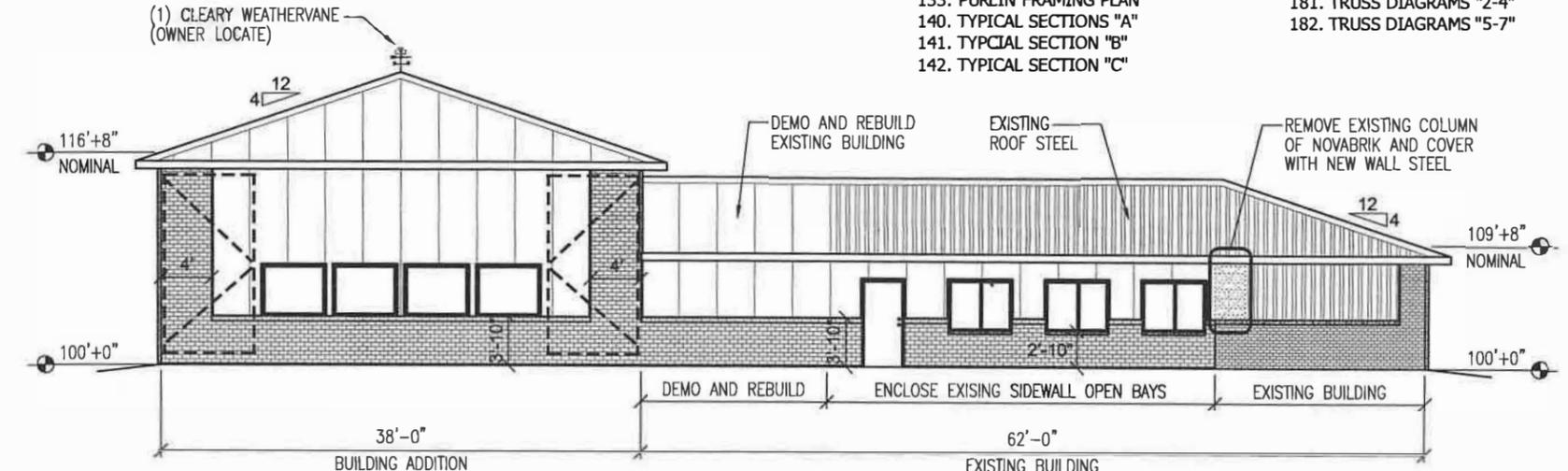
NOTE:
This building, as depicted, must be constructed 10 feet or more from any and all lot lines and 20 feet or more from any other buildings on the same lot. See IBC code and/or the local building official for exceptions.

NOTE:
This document, as presented and sealed, is not intended to be, nor should it be construed as such, a complete building design. It is intended to represent just the building itself. The design of the electrical, mechanical, plumbing, as well as the floor, footings, and foundation walls, are excluded from this plan. It should also be noted that the designer makes no representation as to the soil bearing capacity or condition of the soil at the building site. It is the understanding of both Cleary Building Corp. and the designer that the client is contracting with other design professionals who will prepare a complete design of the concrete floor, footing and foundation base on an existing site conditions.

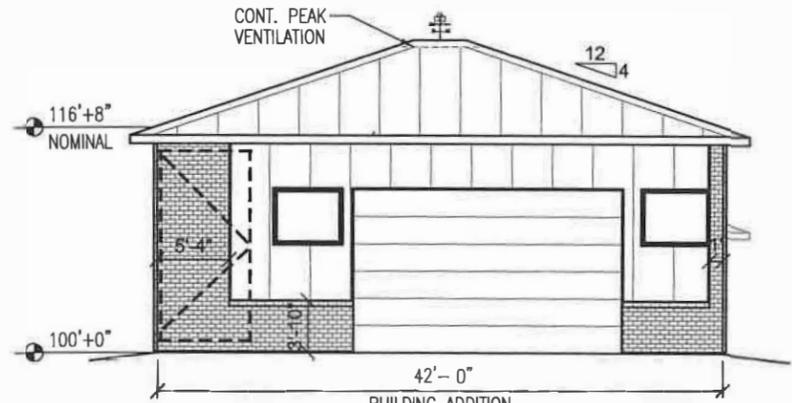
NOVABRIK NOTE:
USE THE HORIZONTAL DIMENSIONS ON THIS SHEET TO LOCATE THE NOVABRIK/STEEL TRANSITIONS. DIMENSIONS DO NOT INCLUDE THE CORNER BLOCKS.

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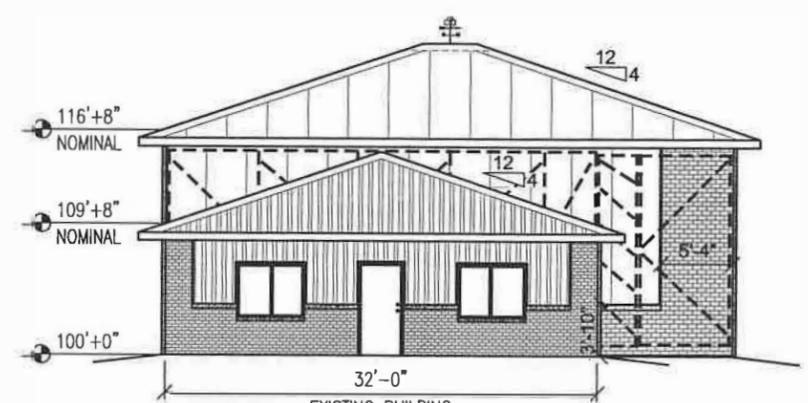
- 110. ELEVATIONS
- 111. FACADE MATERIAL ELEVATIONS
- 120. CONCRETE FOUNDATION PLAN
- 121. CONCRETE FOUNDATION DETAILS
- 122. CONCRETE BRACKET DETAILS
- 130. COLUMN PLAN
- 131. ROOF FRAMING PLAN
- 132. ROOF FRAMING DETAILS
- 133. PURLIN FRAMING PLAN
- 140. TYPICAL SECTIONS "A"
- 141. TYPICAL SECTION "B"
- 142. TYPICAL SECTION "C"
- 143. TYPICAL SECTION "D"
- 150. HEADER DETAILS "OVERHEAD DOOR"
- 160. SHEAR TRUSS DETAILS "A-B"
- 161. SHEAR TRUSS DIAGRAMS "A-B"
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- 163. X-BRACING DETAILS
- 170. DIAPHRAGM ACTION and MISC. DETAILS
- 180. TRUSS DIAGRAMS and COMM CHECK
- 181. TRUSS DIAGRAMS "2-4"
- 182. TRUSS DIAGRAMS "5-7"



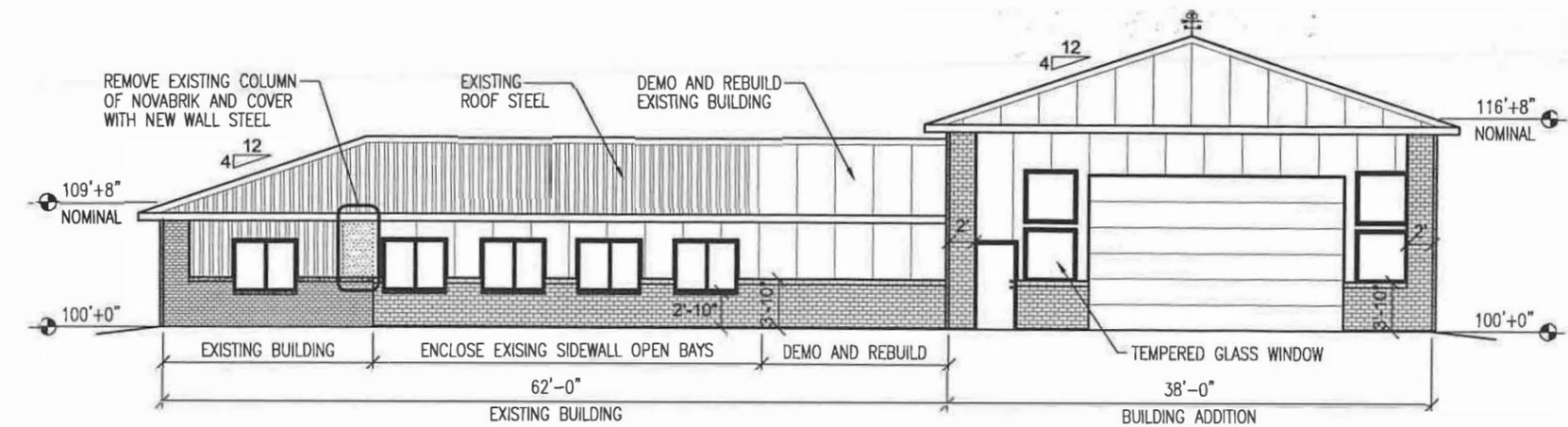
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: R. BURKARD

DATE DRAWN: 02/27/2020

PLAN REVISIONS:

NUMBER	DATE	BY
1	7/2/20	RB
2		
3		
4		

PROJECT NAME: HAGGERTY, MAUGEEEN
PROJECT SITE ADDRESS: 1700 MARTHALLER LANE SAINT PAUL, MN - DAKOTA COUNTY
BUILDING SIZE: 42'-0" x 48'-0" x 16'-8"
SHEET NAME: ELEVATIONS

PROJECT NUMBER: 2020100379

SHEET NUMBER: 110

SHEET SCALE: NONE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly registered Professional Engineer under the laws of the State of Minnesota.

Signature: *[Signature]* Date: 7/9/20
Karl H. Lemmenes / License #26764
 Printed Name:

My license renewal date is: 6/30/2020

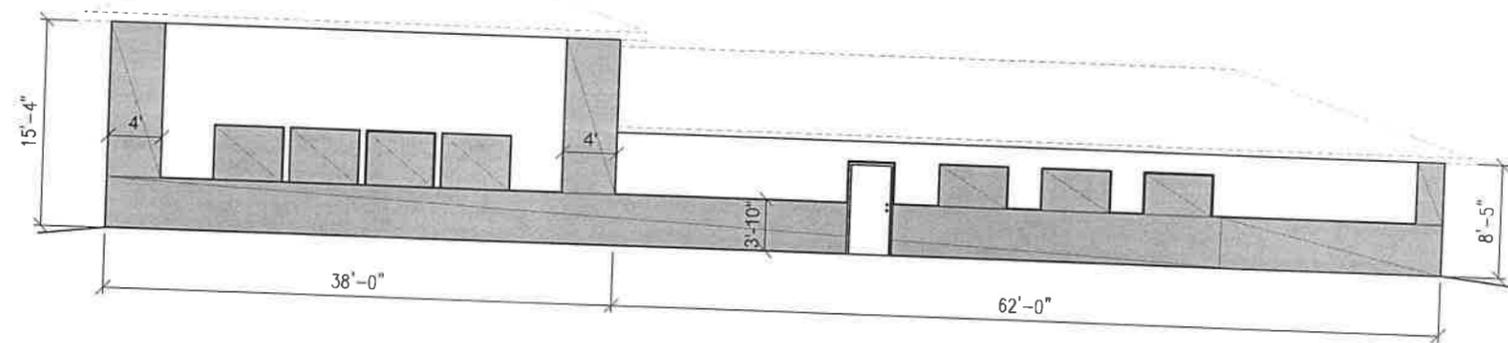


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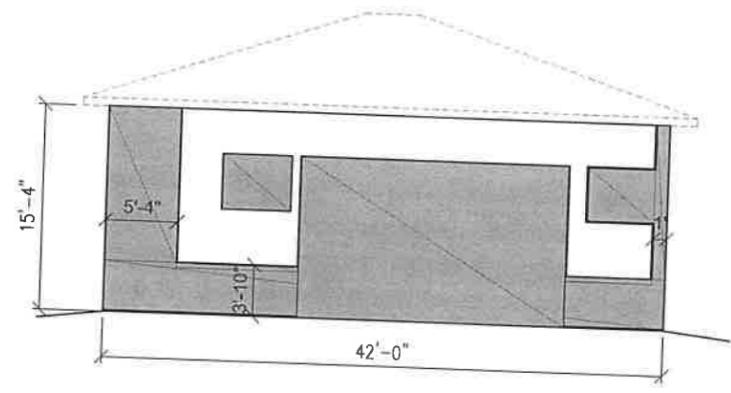
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DATE DRAWN: 7/7/2020

PLAN REVISIONS:		
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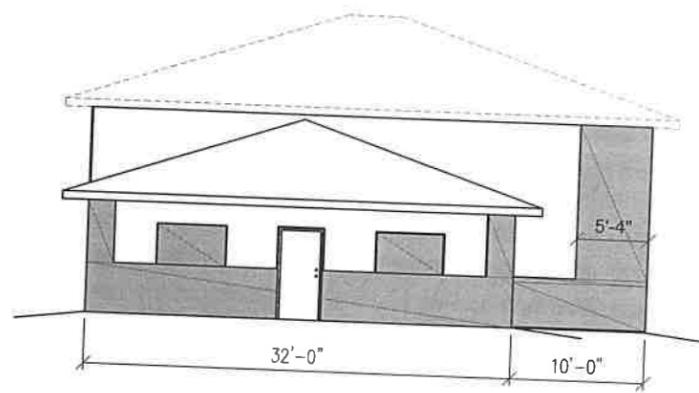
 PRIMARY WALL MATERIALS
 SECONDARY WALL MATERIALS



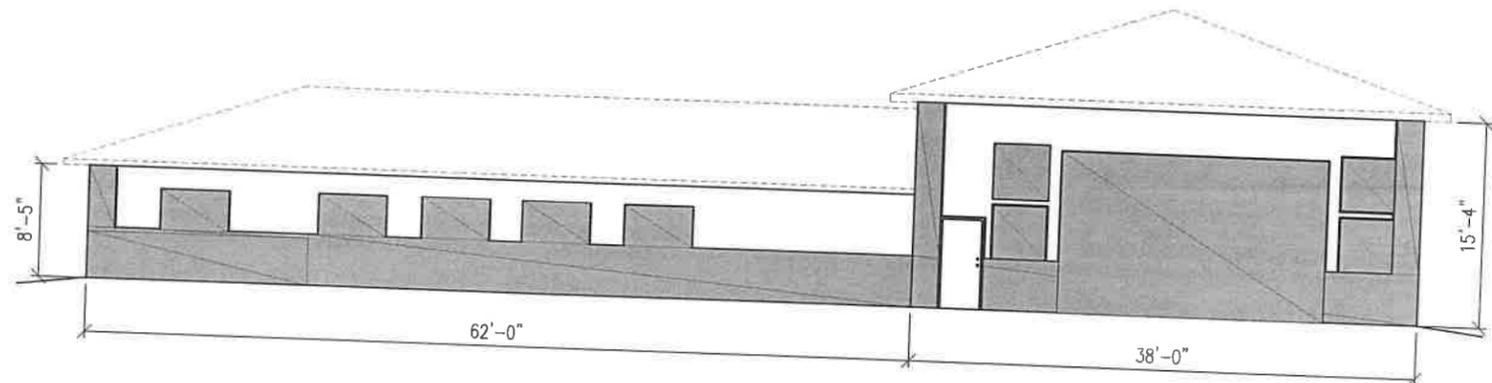
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

Primary Materials (SF)	North	South	East	West	Total
	597	727	437	256	2017
Secondary Materials					
	508	378	206	261	1353
total wall area	1105	1105	643	517	3370
% Primary	54.0%	65.8%	68.0%	49.5%	60%

PROJECT NAME: **HAGGERTY, MAUGEEN**
PROJECT SITE ADDRESS: 1700 MARTHALLER LANE
SAINT PAUL, MN - DAKOTA COUNTY
BUILDING SIZE: 42'-0" x 48'-0" x 16'-8"
SHEET NAME: FACADE MATERIALS ELEVATIONS

PROJECT NUMBER: **2020100379**
SHEET NUMBER: **111**
SHEET SCALE: NONE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

Signature: 
Date: 7/9/20
Printed Name: Karl H. Lemmenes / License #26764

My license renewal date is: 6/30/2020

File Name and Path: \\CLEARYSHARES\Eng\Commercial\Roy_Burkard\2020100379\2020100379-120-CONC-PLAN-1.dwg
 Printed By: Derek R. Yoerger Date Printed: 7/8/2020 8:30 AM

NORTH



190 PAOLI STREET / P.O. BOX 930220
 VERONA, WI 53593 / (800) 373-5550

DRAWN BY: R. BURKARD

DATE DRAWN: 02/27/2020

PLAN REVISIONS:

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PROJECT NAME:
HAGGERTY, MAUGEEN

PROJECT SITE ADDRESS:
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 SAINT PAUL, MN - DAKOTA COUNTY

BUILDING SIZE:
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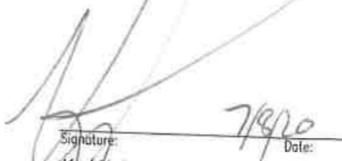
SHEET NAME:
 CONCRETE FOUNDATION PLAN

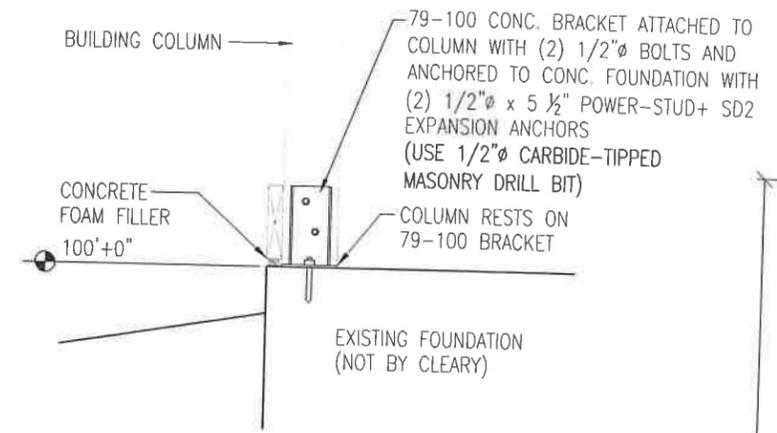
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SHEET NUMBER:
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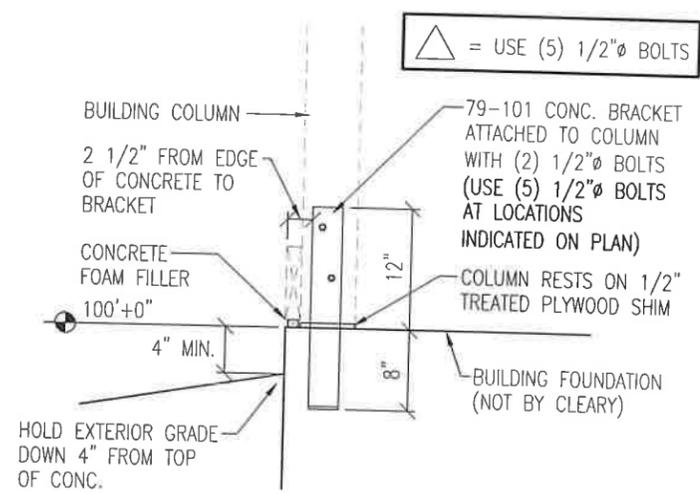
SHEET SCALE: NONE

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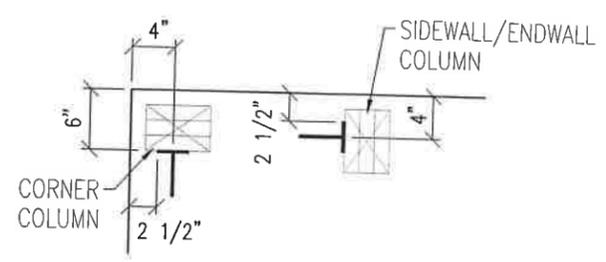
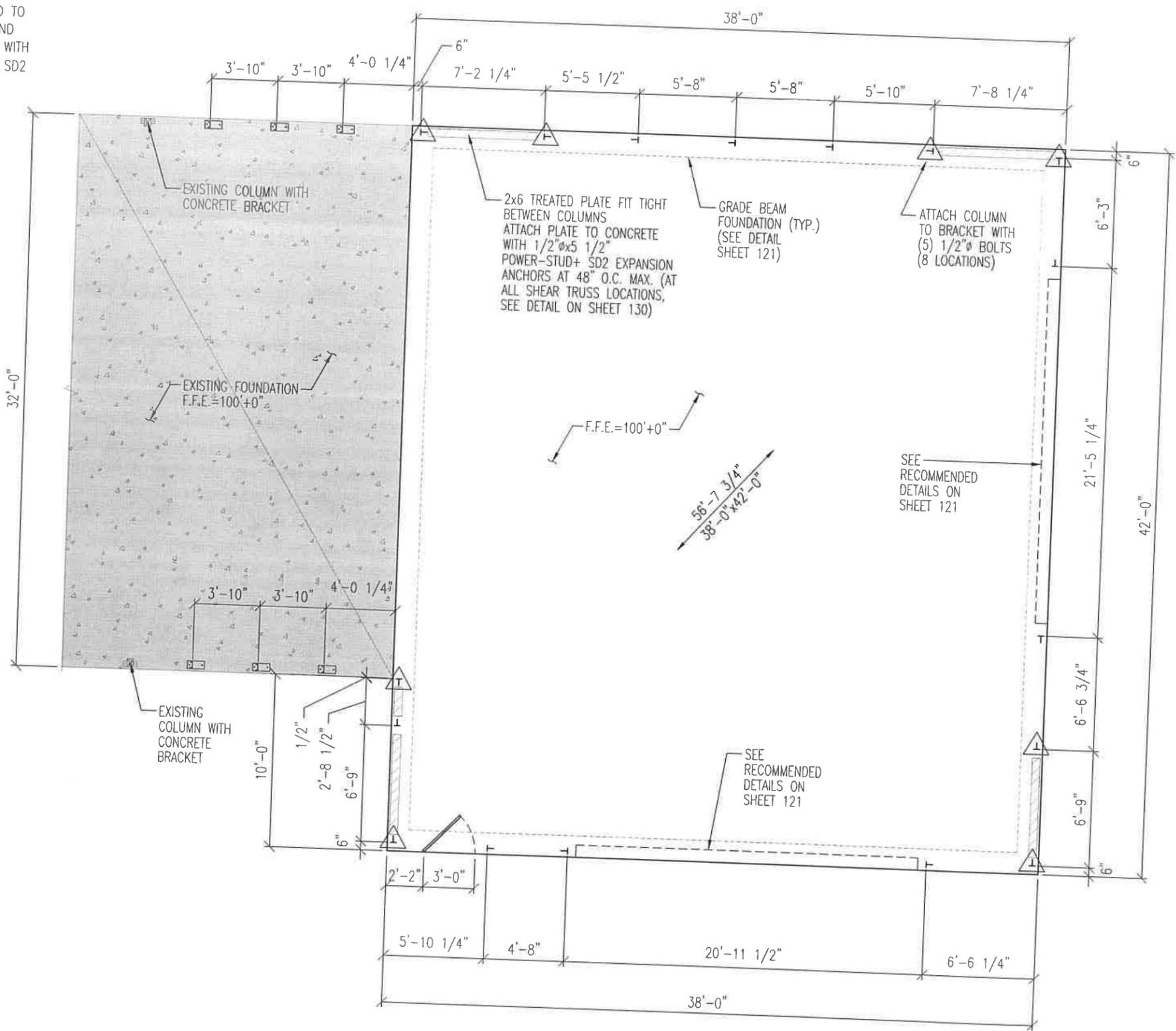
Signature: 
 Date: 7/8/20
 Karl H. Lemmenes / License #26764
 Printed Name:
 My license renewal date is: 6/30/2020



DRY-SET CONCRETE BRACKET ATTACHMENT DETAIL



WET-SET CONCRETE BRACKET PLACEMENT AND ATTACHMENT DETAIL



COLUMNS	COLUMN SIZE	HOLE DEPTH	HOLE DIAMETER	FOOTING SIZE	NUMBER OF COLUMNS REQUIRED
(A) SIDEWALL	3-PLY 2x6x16'-8"	----	----	ON CONCRETE (F.F.E.=100'+0")	6
(B) SIDEWALL	4-PLY 2x6x16'-8"	----	----	ON CONCRETE (F.F.E.=100'+0")	3
(C) DOOR	4-PLY 2x6x16'-8"	----	----	ON CONCRETE (F.F.E.=100'+0")	1
(D) SIDEWALL	5-PLY 2x6x16'-8"	----	----	ON CONCRETE (F.F.E.=100'+0")	1
(E) CORNER	5-PLY 2x6x16'-8"	----	----	ON CONCRETE (F.F.E.=100'+0")	1
(F) SIDEWALL	6-PLY 2x6x16'-8"	----	----	ON CONCRETE (F.F.E.=100'+0")	1
(G) CORNER	3-PLY 2x6x16'-8"	----	----	ON CONCRETE (F.F.E.=100'+0")	4
(H) SIDEWALL	3-PLY 2x6x9'-8"	----	----	ON CONCRETE (F.F.E.=100'+0")	6

- NOTES:**
1. FIELD VERIFY ALL DOOR AND WINDOW ROUGH OPENING SIZES PRIOR TO INSTALLING FRAME-OUTS
 2. ATTACH ALL ROOF, SIDE, END AND GABLE STEEL WITH PAINTED SCREWS
 3. 2x6 STANDARD DIAGONAL CORNER BRACING AT ALL CORNERS (UNLESS OTHERWISE NOTED)
 4. (X) = BAYS WITH 2x4 ROOFLINE X-BRACING (SEE DIAPHRAGM ACTION and MISC. DETAILS SHEET)

BUILDING COLORS		BUILDING ACCESSORIES
ROOF:	CLASSIC BURGUNDY	(1) CLEARY WEATHERVANE (OWNER LOCATE)
SIDES/GABLES:	HICKORY MOSS	TYVEK HOUSE WRAP AT ENTIRE PERIMETER WALLS
NOVABRIK:	WALNUT - R.F.	BUILDING ON CONCRETE WITH DRY-SET BRACKETS
TRIM (TYP.):	CLASSIC BURGUNDY	CONCRETE FOAM FILLER AT ENTIRE BUILDING, LESS DOORS
		STEEL TO 100'+0" WITH SPECIAL PERIMETER INSULATION BASE TRIM



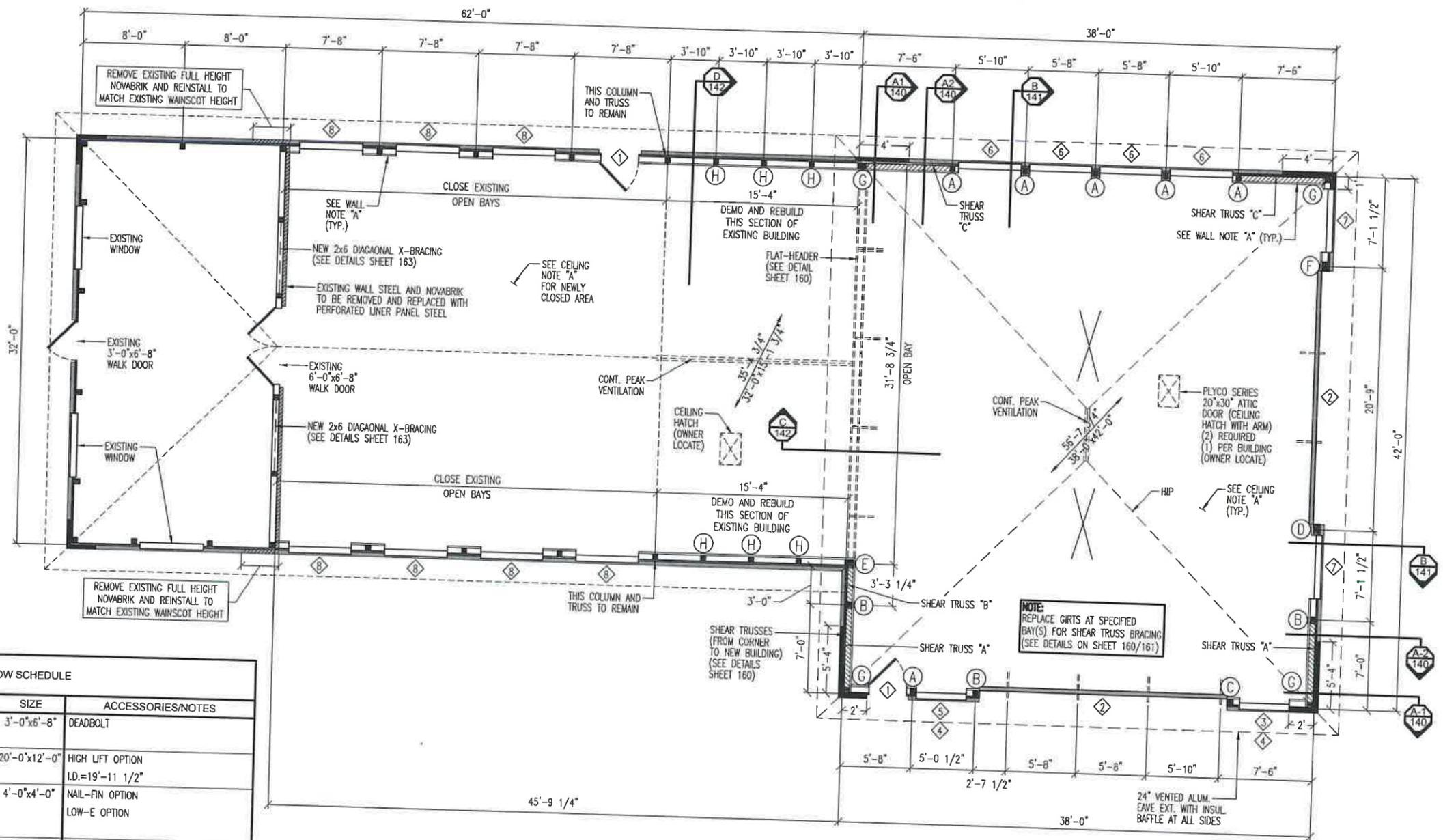
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CEILING NOTE "A"
 ENTIRE CEILING WITH PERFORATED LINER PANEL STEEL WITH (3) MIL POLY, 2x4 CEILING NAILED AT 48" O.C. AND R-50 BLOWN-IN INSUL. (INSUL. BY CLEARY SUB)

WALL NOTE "A"
 PERIMETER WALLS WITH PERFORATED LINER PANEL STEEL WITH BOTTOM TRIM, FIRE BLOCKING, 2x4 INTERIOR NAILED AT 36" O.C. AND R-25 BATT INSUL. WITH FLAME RET. POLY, ASTM E-84: FLAME SPREAD IDX. ≤25, SMOKE DEV. IDX. ≤450 (INSUL. BY CLEARY SUB) B.E.=100'+0"



DOOR AND WINDOW SCHEDULE				
B.E.	QTY.	TYPE	SIZE	ACCESSORIES/NOTES
1	100'+0"	2	PLYCO SERIES 20 STEEL CLAD WALK DOOR	3'-0"x6'-8" DEADBOLT
2	100'+0"	2	OVERHEAD DOOR FRAME-OUT (DOOR BY CLEARY SUB)	20'-0"x12'-0" HIGH LIFT OPTION I.D.=19'-11 1/2"
3	103'+10"	1	PLYCO SERIES CTW550 FIXED LITE WINDOW	4'-0"x4'-0" NAIL-FIN OPTION LOW-E OPTION
4	108'+4 1/2"	2	PLYCO SERIES CTW550 FIXED LITE WINDOW	4'-0"x4'-0" NAIL-FIN OPTION LOW-E OPTION TEMPERED GLASS OPTION
5	103'+10"	1	PLYCO SERIES CTW550 FIXED LITE WINDOW	4'-0"x4'-0" NAIL-FIN OPTION LOW-E OPTION
6	103'+10"	4	PLYCO SERIES CTW550 FIXED LITE WINDOW	5'-0"x4'-0" NAIL-FIN OPTION LOW-E OPTION
7	108'+0"	2	PLYCO SERIES CTW550 FIXED LITE WINDOW	5'-0"x4'-0" NAIL-FIN OPTION LOW-E OPTION
8	102'+10"	7	PLYCO SERIES CTW550 HORIZONTAL SLIDE WINDOW	5'-0"x4'-0" NAIL-FIN OPTION LOW-E OPTION

NORTH ↑

PROJECT NAME: HAGGERTY, MAUGEEN
PROJECT SITE ADDRESS: 1700 MARTHALLER LANE SAINT PAUL, MN - DAKOTA COUNTY
BUILDING SIZE: 42'-0" x 48'-0" x 16'-8"
SHEET NAME: COLUMN PLAN

PROJECT NUMBER: 2020100379
SHEET NUMBER: 130
SHEET SCALE: NONE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

Signature: *[Signature]* Date: 7/8/20
 Kar H. Lemmenes / License #26764
 Printed Name:

My license renewal date is: 6/30/2020